

STAFF REPORT

PLANNING COMMISSION

FILE NO.: PDC13-046**Submitted: October 24, 2013****PROJECT DESCRIPTION:**

Planned Development Rezoning from the A(PD) Planned Development Zoning District and IP – Industrial Park Zoning District to the A(PD) Planned Development Zoning District to allow up to 190 multi-family attached units on a 2.94 gross acre site.

LOCATION:

West side of Lincoln Avenue, approximately 500 feet south of Auzerals Avenue.

Zoning	A(PD) Planned Development and IP – Industrial Park Zoning Districts
Proposed Zoning	A(PD) Planned Development Zoning District
General Plan	Transit Residential
Council District	6
Annexation Date	October 14, 1925
Historic Resource	NA
Specific Plan	NA

Aerial Map

RECOMMENDATION

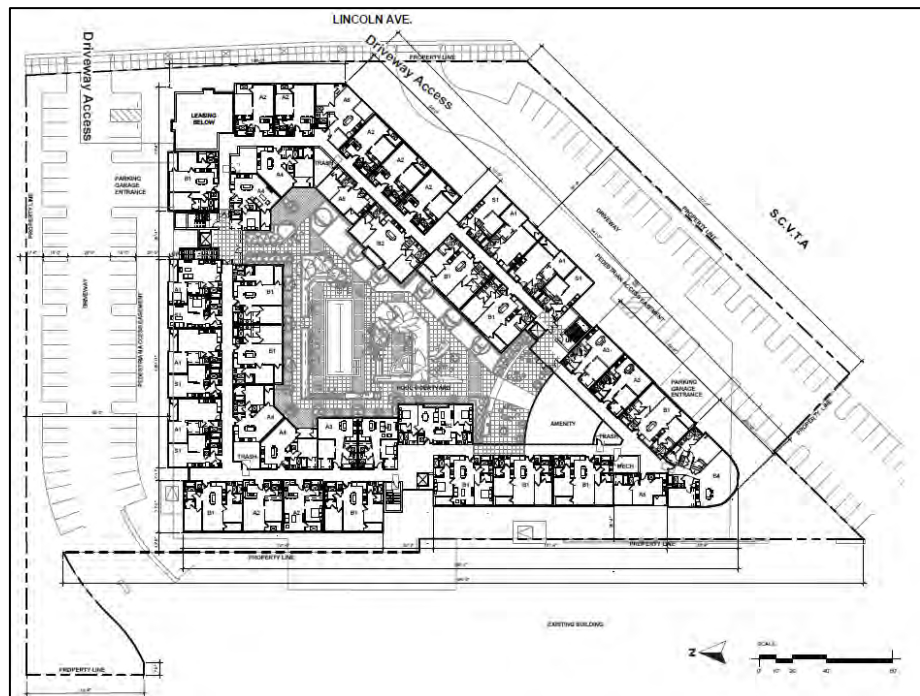
Planning staff recommends that the Planning Commission find that the project is in compliance with the California Environmental Quality Act (CEQA) and recommend to the City Council approval of the proposed Planned Development Rezoning on the subject site for the following reasons:

1. The proposed Planned Development Rezoning is consistent with the Envision San José 2040 General Plan Land Use/Transportation Diagram designation of Transit Residential.
2. The project is consistent with the Residential Design Guidelines.
3. There is no substantial evidence that the project will have a significant effect on the environment. A Mitigated Negative Declaration (MND) for the proposed project was prepared in conformance with the California Environmental Quality Act (CEQA), and the said document was circulated for public review between March 19, 2014 and April 8, 2014.

BACKGROUND & DESCRIPTION

On October 24, 2013, Rod Standard, representing the Sobrato Organization, applied for a Planned Development Rezoning of the vacant subject site to allow for the development of up to 190 multi-family units on a 2.94 gross acre lot, on the west side of Lincoln Avenue, approximately 500 feet south of Auzerais Avenue. The maximum proposed building height would be 85 feet, with a proposed 8-foot front setback along Lincoln Avenue, 50-foot side setbacks, and a 12-foot rear setback. Staff recommends a 0 foot minimum and a 20-foot maximum setback along Lincoln Avenue to match the neighboring development to the west, and to activate and provide interest to the pedestrian level. The project site is directly north of the Race Street VTA light rail station, leading to Downtown San José and Downtown Campbell.

The conceptual site plan for the proposed development shows a five-story podium structure with one level of below grade parking, at grade parking and residential units on the first floor, and residential units on the upper floors. The plans show a mix of 25 studios, 104 one-bedroom units, and 61 two-bedroom units, ranging in size from approximately 530 to 1,540-square-feet. The parking facilities would be located on the interior of the first floor with residential units wrapped around the exterior. The inner courtyard will serve as common open space. The courtyard is triangular in shape and will be located on the second floor podium level. The approximately 14,000-square-foot courtyard will include amenities such as a pool, barbeque and picnic areas, a bocce ball court, lounge areas, and landscaping.



The project proposes to maintain the perimeter trees along most public street frontages, including the southern portion of the site adjacent to the VTA light rail line. Additional landscaping will be planted along the perimeter of the proposed building and in the inner courtyard.

Two existing driveways on Lincoln Avenue will provide direct vehicular access to the project site. The podium parking garage will be accessed by two entrances, one on the easterly driveway and the other on the westerly driveway. The parking garage will have one level of parking below grade and one level of parking at grade. In addition surface parking will be provided along the north and south property lines, amounting to a grand total of 299 parking spaces. Pedestrian walkways are proposed along the driveways, and will include designated pedestrian access easements for the benefit of the public.

Site and Surrounding Uses

The development in the immediate vicinity includes one-story warehouses to the north and east of the site, a two-story medical office building to the south of the site, across the VTA light rail tracks, and a new five story multi-family apartment complex (Mosaic Apartments) to the west.

ANALYSIS

The proposed rezoning was analyzed with respect to: 1) conformance with the Envision San José 2040 General Plan, 2) conformance with the Residential Design Guidelines, and 3) conformance with the California Environmental Quality Act (CEQA).

Envision San José 2040 General Plan Conformance

The Envision San José 2040 General Plan Land Use/Transportation Diagram designates this site Transit Residential, which is the primary designation for new high-density, mixed-use residential development sites that are located in close proximity to transit, jobs, amenities, and services. This designation allows for residential densities between 50 and 250 dwelling units per acre (DU/AC), and buildings between 5 and 25 stories. The proposed project at approximately 65 dwelling units per acre, and up to five-stories is within the range allowed under the Transit Residential designation.

The site is located in a growth area, which the General Plan identifies as an area planned for significant growth to achieve fiscal sustainability and maximize the use of transit systems.

The subject property is also located within the boundaries of a designated Urban Village (VR9 – Race Street Light Rail). Most sites within an Urban Village Area Boundary have a Neighborhood/Community Commercial or other non-residential designation so that new residential development can only occur subsequent to the preparation of an Urban Village Plan. The General Plan states that prior to implementation of the Urban Village through the preparation of an Urban Village Plan, the underlying General Plan designation determines the appropriate use and application of General Plan land use policies for the property. The proposed project can proceed in advance of the preparation of an Urban Village Plan because it is consistent with the underlying Transit Residential designation, in terms of overall density and height.

Residential Design Guidelines

The Residential Design Guidelines for podium cluster housing and mixed use development are intended to guide residential development of high density housing (25 to 40 or more DU/AC) like the subject development proposal, and to help achieve attractive residential environments in conjunction with viable

and functional commercial activities. The podium cluster housing guidelines state that there are four major design concerns with these types of developments: 1) the architectural treatment of the edges of the podium, particularly at the site perimeter; 2) the relationship of the units to each other; and 3) the relationship of the podium buildings to adjacent uses. Further, the Guidelines specify that pedestrian circulation should be given special attention and should provide convenient access to adjacent facilities and uses, and that sidewalks and walkways should be wide, attractive, and inviting.

Treatment of the Podium Edge

The Residential Design Guidelines recommend that garages on the project periphery and within the project be screened from public view. The podium garage is screened behind ground-level units along the Lincoln Avenue frontage and along both drive aisles.

Public Access to Transit

The proposal includes pedestrian public access easements, increasing pedestrian connectivity to the VTA light rail station and to surrounding amenities such as retail and existing and future parks. An attractive streetscape is proposed, including wider sidewalks and pedestrian-scale street lighting and landscaping connecting to, and consistent with, the adjacent development to the west.

Parking

The Residential Design Guidelines recommend parking standards based on number of bedrooms as follows: 1.4 spaces for each studio unit, 1.5 spaces for each one-bedroom unit and 1.8 spaces for each two-bedroom unit. The conceptual plans propose 25 studio units, 104 one-bedroom units, 61 two-bedroom units, requiring a minimum of 301 parking spaces. The Municipal Code has minimum parking standards based on the number of bedrooms as follows: 1.25 spaces for each studio unit, 1.25 spaces for each one-bedroom unit, and 1.7 spaces for each two-bedroom unit. Per Section 20.90.220 of the Municipal Code, the project is eligible for a twenty percent parking reduction due to its proximity to transit. The project proposes a total of 299 parking spaces, which will include guest parking.

Unit Type	Open Parking			
	Number of Units	Minimum Parking Required Per Residential Design Guidelines	Minimum Parking Required Per Municipal Code (Table 20-210)	Minimum Municipal Code Parking Required with 20% Reduction (Section 20.90.220)
Studio	25	35	31	25
One Bedroom	104	156	130	104
Two Bedroom	61	110	122	98
Totals	190	301	283	227
Total Parking Proposed = 299				

Common Open Space

The Residential Design Guidelines specify that podium cluster residential development should provide 100 square feet of common open space for every residential unit proposed. The multi-family development portion proposes a central outdoor courtyard, as well as other amenity spaces, such as a 44,583-square-

foot fitness room, which breaks down to 234 square feet of common open space per unit, exceeding the recommendation.

Compatibility with the Neighborhood

The proposal for a high-density residential project completes a pattern of similar development in the area, specifically two similarly constructed five-story apartment complex developments to the west and southwest of the project site at a density of 50 dwelling units per acre. The project is compatible with the height and density of the existing and approved development in the neighborhood.

Sustainability

This project is subject to the City of San José Green Building Ordinance for New Construction Private Development. A future Planned Development Permit for this project will be conditioned to provide a GreenPoint or LEED checklist for the project prior to issuance of a building permit. The project's specific green building measures have not been established at this stage of the process, but will be evaluated at the Planned Development Permit stage.

California Environmental Quality Act (CEQA)

A Mitigated Negative Declaration (MND) was prepared by the Director of Planning, Building, and Code Enforcement for the subject rezoning. The documents were circulated for public review between March 19, 2014 and April 8, 2014.

The MND states that the proposed Planned Development Rezoning will not have a significant effect on the environment. The primary environmental issues addressed in the Initial Study include the potential impacts of the physical development of the site in regards to: air quality during demolition/construction, biological resources, and cultural resources. The MND includes mitigation measures that would reduce any potential significant project impacts to a less-than-significant level. The mitigation measures are included in the development standards of the Planned Development Zoning. The entire MND and Initial Study are available for review online at: <http://www.sanjoseca.gov/index.aspx?NID=2165>.

PUBLIC OUTREACH/INTEREST

Public outreach for the project has included a community meeting on February 19, 2014. One person attended the meeting, but did not have any comments or concerns with the project. The property owners and occupants within a 1,000-foot radius were sent public hearing notices for the Planning Commission and City Council hearings. This staff report has been posted on the City's website. Signage has been posted at the site to inform the public about the proposed change. Staff has been available to discuss the proposal with interested members of the public.

Project Manager: Kristinae Toomians **Approved by:** Sylvia D **Date:** 5/13/14

Owner/Applicant:	Attachments:
The Sobrato Organization	Development Standards
Rod Standard	Plan Set
10600 N De Anza Blvd, Ste 200	
Cupertino, CA 94014	

PLANNED DEVELOPMENT FILE No. PDC13-046

DEVELOPMENT STANDARDS

In any cases where the graphic plans and text may differ, this text takes precedence.

ALLOWED USES

RESIDENTIAL

- Multi-family attached uses, including resident-serving support uses, such as offices, club houses, fitness rooms, meeting rooms, amenity retail (e.g. coffee shop, etc) and other similar residential amenities.
- Permitted, Conditional and Special uses of the RM – Multiple Residence Zoning District of Title 20 of the San José Municipal Code, as amended. Conditional and Special uses as identified in the RM – Multiple Residence Zoning District shall be subject to approval by the Planning Director with a Planned Development Permit or Amendment

DEVELOPMENT STANDARDS

MINIMUM DEVELOPMENT

- Residential 65 du/ac

SETBACKS

- Public Street Frontage 0 feet min to 20 feet max
- Railroad Frontage 50 feet
- Private Driveway Frontage (not Railroad Frontage) 5 feet from back of sidewalk
- At All Interior Property Lines Minimum: 0 feet from property line
- Setback Exceptions Per Zoning Ordinance, as amended

Minor architectural projections, such as chimneys and bay windows may project into any setback or building separation by no more than 2 feet for any horizontal distance not to exceed 10 feet in length, no more than 20% of building elevation.

MAXIMUM BUILDING HEIGHT

- 80 feet to the top of roof
- Elevator shafts, roof equipment, and other non-habitable building elements that do not exceed an area equal to ten percent of the area of the highest floor of the building, may extend to a height of 85 feet.

HEIGHT EXCEPTIONS

Per Zoning Ordinance, as amended.

PODIUM SCREENING

The garage shall be screened and treated to the satisfaction of the Director of Planning, Building, and Code Enforcement.

MINIMUM PARKING REQUIREMENTS

Multi-Family Per Zoning Ordinance, as amended, including permissible parking reduction.

Tandem parking is permitted within garage to satisfy the total required parking for residential uses.

DRIVEWAY/ACCESS ROADS

- Private driveways and access roads shall not be gated. Gates may be provided at the entrances to the parking garages, subject approval by the Planning Director with a Planned Development Permit.

COMMON OPEN SPACE REQUIREMENTS

- 160 square feet of common open space per unit.

SIGNAGE

- All signage for residential uses shall comply with the Sign Ordinance standards for signage within the Multiple Residence (RM) Zoning District, as amended.

PEDESTRIAN EASEMENTS

- The project shall provide public pedestrian access easements as shown on the Conceptual Zoning Plan, dated December 20, 2013.

PUBLIC WORKS

Public Works Clearance for Building Permits and Parcel Map Approval: The applicant will be required to have satisfied the following Public Works conditions prior to the issuance of a Parcel Map and Building permits, whichever occurs first. The applicant is advised to apply for any necessary Public Works permits prior to applying for Building permits.

1. *Construction Agreement:* The public improvements conditioned as part of these development standards require the execution of a Construction Agreement that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works. This agreement includes privately engineered plans, bonds, insurance, a completion deposit, and engineering and inspection fees.
2. *Transportation:* The traffic report prepared by Hexagon Transportation Consultants in October of 2013 studied and cleared 190 residential condominiums. The proposed development is projected to add 143 A.M. peak hour trips and 143 P.M. peak hour trips. The subject project will be in conformance with both the City of San Jose Transportation Level of Service Policy (Council Policy 5-3) and the Santa Clara County Congestion Management Program. Therefore, a determination for a negative declaration can be made with respect to traffic impacts.
3. *Easement:*
 - a) A Covenant of Easement will be required to address ingress/egress and emergency access for Street "A" and Street "B" with adjacent parcel (APN 264-09-064).
 - b) A public access easement will be required to allow access through the project site to the Race Street light rail station from Lincoln Avenue.
4. *Grading/Geology:*
 - a) A grading permit is required prior to the issuance of a Public Works Clearance.
 - b) All on-site storm drainage conveyance facilities and earth retaining structures 4 foot in height or greater (top of wall to bottom of footing) or is being surcharged (slope of 3:1 or greater abutting the wall) shall be reviewed and approved under Public Works grading and drainage permit prior to the issuance of Public Works Clearance. The drainage plan should include all underground pipes, building drains, area drains and inlets. The project shall provide storm drainage calculations that adhere to the 2010 California Plumbing Code or submit a stamped and signed alternate engineered design for Public Works discretionary approval and should be designed to convey a 10 year storm event.
 - c) If the project proposes to haul more than 10,000 cubic yards of cut/fill to or from the project site, a haul route permit is required. Prior to issuance of a grading permit, contact the Department of Transportation at (408) 535-3850 for more information concerning the requirements for obtaining this permit.

- d) Because this project involves a land disturbance of one or more acres, the applicant is required to submit a Notice of Intent to the State Water Resources Control Board and to prepare a Storm Water Pollution Prevention Plan (SWPPP) for controlling storm water discharges associated with construction activity. Copies of these documents must be submitted to the City Project Engineer prior to issuance of a grading permit.
 - e) A soils report must be submitted to and accepted by the City prior to the issuance of a grading permit.
5. *Stormwater Runoff Pollution Control Measures:* This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of Best Management Practices (BMPs) which includes site design measures, source controls and numerically-sized Low Impact Development (LID) stormwater treatment measures to minimize stormwater pollutant discharges.
- a) The project's preliminary Stormwater Control Plan and numeric sizing calculations have been reviewed. At the Planned Development Permit stage, submit the final Stormwater Control Plan and numeric sizing calculations.
 - b) Final inspection and maintenance information on the post-construction treatment control measures must be included on the final Stormwater Control Plan.
6. *Stormwater Peak Flow Control Measures:* The project is located in a non-Hydromodification Management area and is not required to comply with the City's Post-Construction Hydromodification Management Policy (Council Policy 8-14).
7. *Flood: Zone D:* The project site is not within a designated Federal Emergency Management Agency (FEMA) 100-year floodplain. Flood zone D is an unstudied area where flood hazards are undetermined, but flooding is possible. There are no City floodplain requirements for zone D.
8. *Sewage Fees:* In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
9. *Parks:* This residential project is subject to either the requirements of the City's Park Impact Ordinance (Chapter 14.25 of Title 14 of the San Jose Municipal Code) or the Parkland Dedication Ordinance (Chapter 19.38 of Title 19 of the San Jose Municipal Code) for the dedication of land and/or payment of fees in-lieu of dedication of land for public park and/or recreational purposes under the formula contained within in the applicable Chapter and the associated fees and credit resolutions.
10. *Street Improvements:* Applicant shall be responsible for the following:
- a) Provide a left turn pocket within the existing public right-of-way (this will require restriping) into the site to allow for full access at the northerly driveway along Lincoln Avenue.

- b) Install speed bumps along Saddle Rack Streets between Lincoln Avenue and Race Street.
 - c) Construct curb, gutter, and 10-foot sidewalk with street trees along the Lincoln Avenue frontage.
 - d) Install handicap ramp where the sidewalk meets the VTA light rail tracks along Lincoln Avenue.
 - e) Existing driveway width to be maintained at 26-feet.
 - f) Dedication and improvement of the public streets to the satisfaction of the Director of Public Works.
 - g) Repair, overlay, or reconstruction of asphalt pavement may be required. The existing pavement will be evaluated with the street improvement plans and any necessary pavement restoration will be included as part of the final street improvement plans.
 - h) Applicant shall be responsible to remove and replace curb, gutter, and sidewalk damaged during construction of the proposed project.
11. *SNI*: This project is located within the Burbank/Del Monte SNI area. Public improvements shall conform to the approved EIR and neighborhood improvement plan.
12. *Electrical*: Existing electroliers along the project frontage will be evaluated at the public improvement stage and any street lighting requirements will be included on the public improvement plans.
13. *Street Trees*: The locations of the street trees will be determined at the street improvement stage. Contact the City Arborist at (408) 794-1901 for the designated street tree. Install street trees within public right-of-way along entire project street frontage per City standards; refer to the current "Guidelines for Planning, Design, and Construction of City Streetscape Projects." Street trees shall be installed in cut-outs at the back of curb. Obtain a DOT street tree planting permit for any proposed street tree plantings. Street trees shown on this permit are conceptual only.
14. *Private Streets*: Per the Common Interest Development (CID) Ordinance, all common infrastructure improvements shall be designed and constructed in accordance with the current CID standards.
15. *Referrals*: This project should be referred to the Santa Clara Valley Transportation Authority.

ENVIRONMENTAL

CONFORMANCE TO MITIGATION MONITORING & REPORTING PROGRAM. This project shall conform to all applicable requirements of the Mitigation Monitoring and Reporting Program (MMRP) approved for this development. The following mitigation or avoidance measures are organized by impact category and identify in parenthesis the person or entity responsible for monitoring compliance.

Biology. (City of San José, Department of Planning, Building and Code Enforcement)

Construction activities associated with the proposed project could result in the loss of fertile eggs, nesting raptors, or other migratory birds, or nest abandonment. All measures shall be printed on all construction documents, contracts, and project plans. Prior to issuance of a Grading Permit:

1. A qualified ornithologist shall conduct a preconstruction survey for nesting raptors on-site not more than 30 days prior to the onset of ground disturbance or tree removal, if disturbance is to occur during the breeding season (February 1 to August 31). This survey shall be completed no more than 14 days prior to the initiation of demolition/construction activities during the early part of the breeding season (February through April) and no more than 30 days prior to the initiation of these activities during the late part of the breeding season (May through August). During this survey, the ornithologist shall inspect all trees and other possible nesting habitats in and immediately adjacent to the construction areas for nests.
2. If an active nest is found in an area that will be disturbed by construction, the ornithologist shall designate a construction-free buffer zone (typically 250 feet) to be established around the nest, in consultation with the California Department of Fish and Wildlife (CDFW). The buffer would ensure that raptor or migratory bird nests shall not be disturbed during project construction.
3. The applicant shall submit a report indicating the results of the survey and any designated buffer zones to the satisfaction of the Director of Planning, prior to the issuance of a grading permit. Submit the pre-construction report to the Senior Planner of the Environmental Review Section.

Cultural Resources. (City of San José, Department of Planning, Building and Code Enforcement) Implementation of the project could result in a substantial adverse change in the significance of a historical resource. All measures shall be printed on all construction documents, contracts, and project plans. Prior to approval of a development permit the following report shall be completed and prepared:

1. A qualified archaeologist shall be retained to inspect the development areas after the removal of existing temporary structures, parking lots, fill material, and landscaping areas to search for archaeological deposits which may have survived the two previous building episodes on the property. In the event any materials are discovered, the project archaeologist shall provide the Director of Planning, Building, and Code Enforcement with a proposal to evaluate the discovery through a program of limited hand excavation to determine: 1) if the deposit is historically undisturbed, and 2) if the deposit(s) possess research qualities which may make them eligible for inclusion on the California Register of Historic Resources. In the event that evaluation demonstrates the presence of historically intact and significant resource deposits, work should remain halted in the area designated by the project archaeologist until a mitigation plan is submitted to the Director of Planning, Building, and Code Enforcement for review and approval. Mitigation measures may include limited data recovery through hand excavation coupled with a program of archaeological monitoring inside the area designated as archaeologically sensitive. The mitigation plan will ensure that all significant archaeological materials are identified, recorded, and/or removed for additional analysis prior to work recommencing in the area of the archaeological discovery.

2. In the event any unanticipated prehistoric or significant historic era cultural materials are exposed during construction, all grading and/or excavation operations within 50 feet of the find shall be halted, the Director of Planning, Building and Code Enforcement shall be notified, and a qualified professional archaeologist shall examine the find and make appropriate recommendations regarding the significance of the find and the appropriate mitigation. The recommendation shall be implemented and could include collection, recordation, and analysis of any significant cultural materials.
3. In the event that human remains are found, all project-related construction shall cease within a 50-foot radius of the find in order to proceed with the testing and mitigation measures required. Pursuant to Section 7050.5 of the Health and Safety Code and Section 5097.94 of the Public Resources Code of the State of California:
 - a. In the event of the discovery of human remains during construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are Native American. If the Coroner determines that the remains are not subject to his authority, he shall notify the Native American Heritage Commission who shall attempt to identify descendants of the deceased Native American. If no satisfactory agreement can be reached as to the disposition of the remains pursuant to this State law, then the land owner shall re-inter the human remains and items associated with Native American burials on the property in a location not subject to further subsurface disturbance.
 - b. A final report shall be submitted to the Director of Planning, Building and Code Enforcement. This report shall contain a description of the mitigation program that was implemented and its results, including a description of the monitoring and testing program, a list of the resources found, a summary of the resources analysis methodology and conclusion, and a description of the disposition/curation of the resources. The report shall verify completion of the mitigation program to the satisfaction of the Director of Planning, Building and Code Enforcement.

Hazardous Materials 1. (City of San José, Department of Planning, Building and Code Enforcement) Exposure of construction workers and future residents to contaminated soil and/or groundwater that exceed regulatory screening levels or naturally occurring background concentration levels could have a significant effect. All measures will be printed on all construction documents, contracts, and project plans prior to issuance of permits. Prior to the issuance of a Grading permit:

1. The project would require approximately 27,000 cubic yards of soil be excavated for the construction of the below ground parking level. The excavated soils shall be tested in compliance with the procedures outlined in the Soil Management Plan attached to this MMRP and disposed at an appropriate offsite facility in accordance with its characteristics.

Noise (City of San José, Department of Planning, Building and Code Enforcement and Environmental Services Department, Environmental Compliance) Future residences at

the proposed project site could be exposed to interior noise levels above 45 dBA-weighted decibels (dBA). All measures shall be printed on all construction documents, contracts, and project plans. All measures will be printed on all construction documents, contracts, and project plans prior to issuance of permits. Prior to issuance of a Building Permit:

1. A project-specific acoustical analysis shall be completed prior to the issuance of a building permit so that the design of each residential unit shall be sufficient to adequately reduce interior noise levels to 45 dBA DNL or lower. Building sound insulation requirements would need to include the provision of forced-air mechanical ventilation satisfactory to the local building official for all new units with direct line of sight to area roadways and the rail corridor, so that windows could be kept closed at the occupant's discretion to control noise. The specific determination of what treatments are necessary shall be made on a unit-by-unit basis. Results of the analysis, including the description of the necessary noise control treatments, shall be submitted to the City along with the building plans and approved prior to issuance of a building permit.

505 Lincoln Avenue

San Jose, California

The Sobrato Organization

**10600 North Denza Boulevard, Suite 200
Cupertino, California, 95014**

505 LINCOLN

The Sobrato Organization
San Jose, CA

The **SOBRATO** Organization

REVISIONS

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SHEET TITLE
COVER SHEET

SHEET NUMBER
0-0

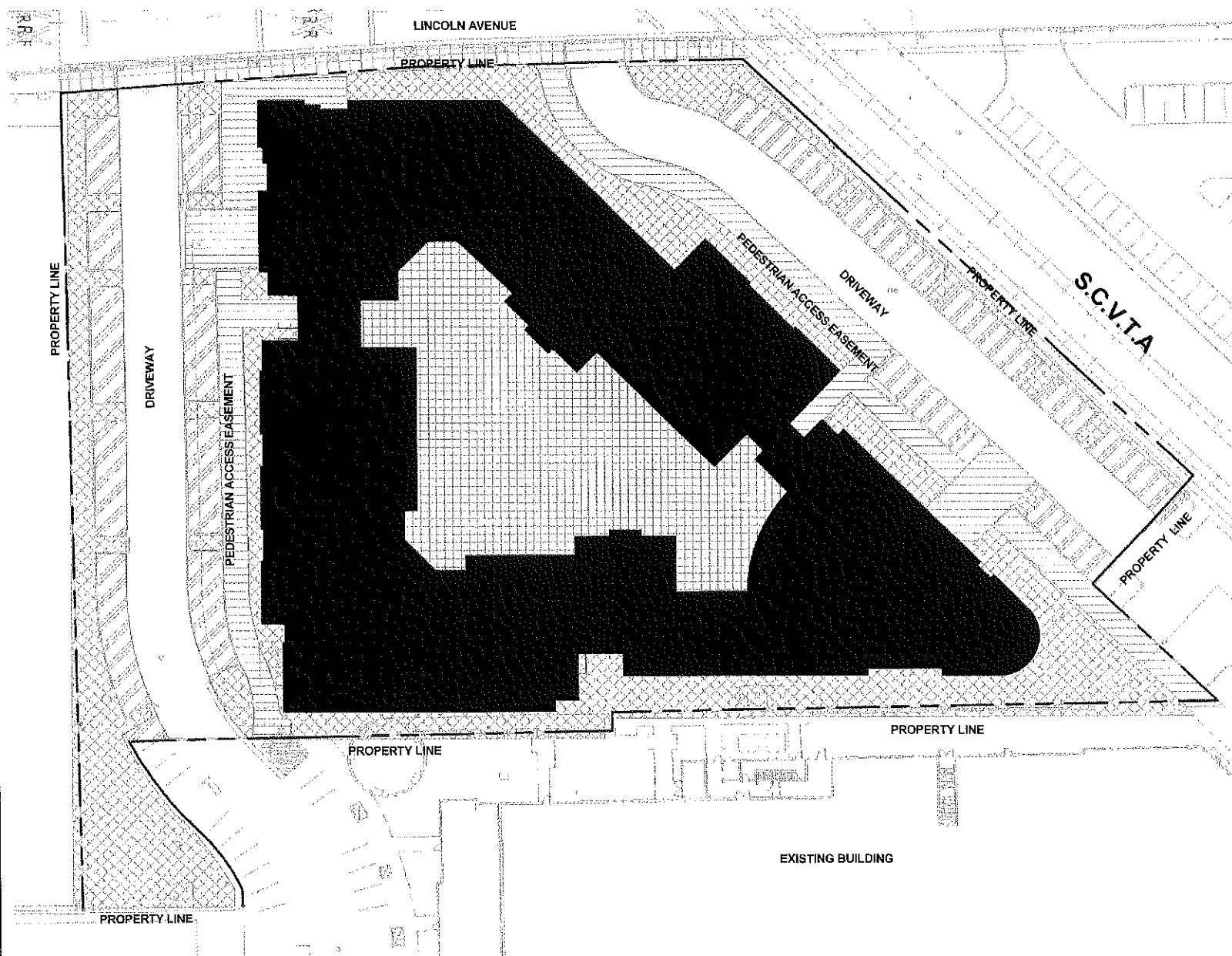
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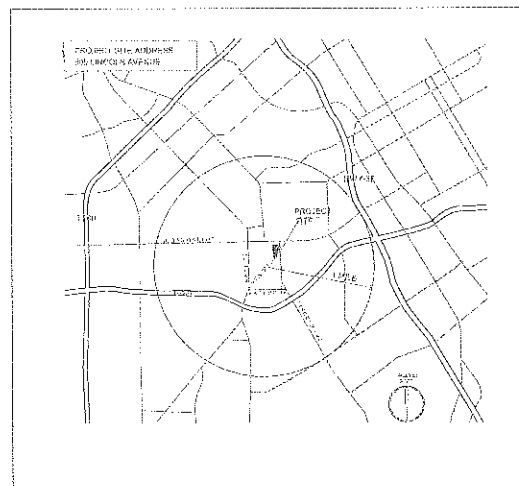
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Architecture Planning Interiors



① LAND USE PLAN
1" = 30'-0"



VICINITY MAP
1" = 500'

		AREA S.F.	AREA AC
	GROSS SITE AREA	127,195	2.92
	AREA DEDICATED	0	0
	NET SITE AREA	127,195	2.92

		AREA (S.F.)	INTENSITY
	ROOF AREA (INCLUDES PRIVATE DECKS)	48,736	38.3%
	SIDEWALKS, PLAZAS AND DRIVEWAYS	10,057	8%
	PODIUM AREA (COMMON OPEN SPACE)	14,378	11.3%
	GENERAL LANDSCAPE	26,973	21.2%
	SITE DRIVEWAYS	16,588	13%
	OFF-STREET OPEN PARKING	10,463	8.2%
	TOTAL	127,195	100%

DEVELOPMENT STANDARDS		
	CURRENT ZONING (IP)	PROPOSED
MIN. LOT AREA	10,000 S.F.	10,000 S.F.
MIN. SETBACK		
FRONT (LINCOLN AVE.)	15'	8'
SIDE :	0'-25'	50'
REAR :	0'-25'	12'
MAXIMUM HEIGHT	50'	85'
MAXIMUM NUMBER OF STORIES	N/A	6
MINIMUM STREET FRONTAGE (FEET)	60'	60'
REQUIRED PARKING WITH 10% PARKING REDUCTION	1.25 / Studio 1.25 / 1 BDR 1.70 / 2 BDR	1.25 / Studio 1.25 / 1 BDR 1.70 / 2 BDR

NOTES

- 1) OFF-SITE WORK:
CURB, GUTTER, SIDEWALK REPLACEMENT AND NEW UTILITY LATERALS
- 2) ENVIRONMENTAL MITIGATION REQUIREMENTS:
NOT REQUIRED.
- 3) WATER POLLUTION CONTROL:
NOI, SWPP FOR CONSTRUCTION ACTIVITIES AND STORMWATER PLAN FOR POST CONSTRUCTION STORMWATER POLLUTION MEASURES.
- 4) PRIVATE INFRASTRUCTURE STANDARD:
PROJECT WILL COMPLY WITH THE CITY OF SAN JOSE PRIVATE STREET AND PUBLIC STREET STANDARDS.
- 5) LOCATION AND HEIGHT OF SOUND WALLS:
NOT REQUIRED.
- 6) PROJECT INTERFACE:
ALL EXISTING EASEMENTS IDENTIFY TO REMAIN IN THE PROPERTIES TITLE HAVE BEEN ACKNOWLEDGED IN THIS PROJECT.
THE INGRESS/EGRESS EASEMENT FOR STREET 'B' WILL HAVE TO BE MODIFIED TO FOLLOW REALIGNMENT.
- 7) PERFORMANCE STANDARDS:
TBD

505 LINCOLN

GENERAL DEVELOPMENT PLAN

The Sobrato Organization
San Jose, CA

The **SOBRATO** Organization

REVISIONS

	DESCRIPTION	DATE
▲		
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▲		
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SHEET TITLE LAND USE PLAN

SHEET NUMBER

2-1

JOB NO.
2012-10176
DATE
08/13/2013
SCALE
As Indicated

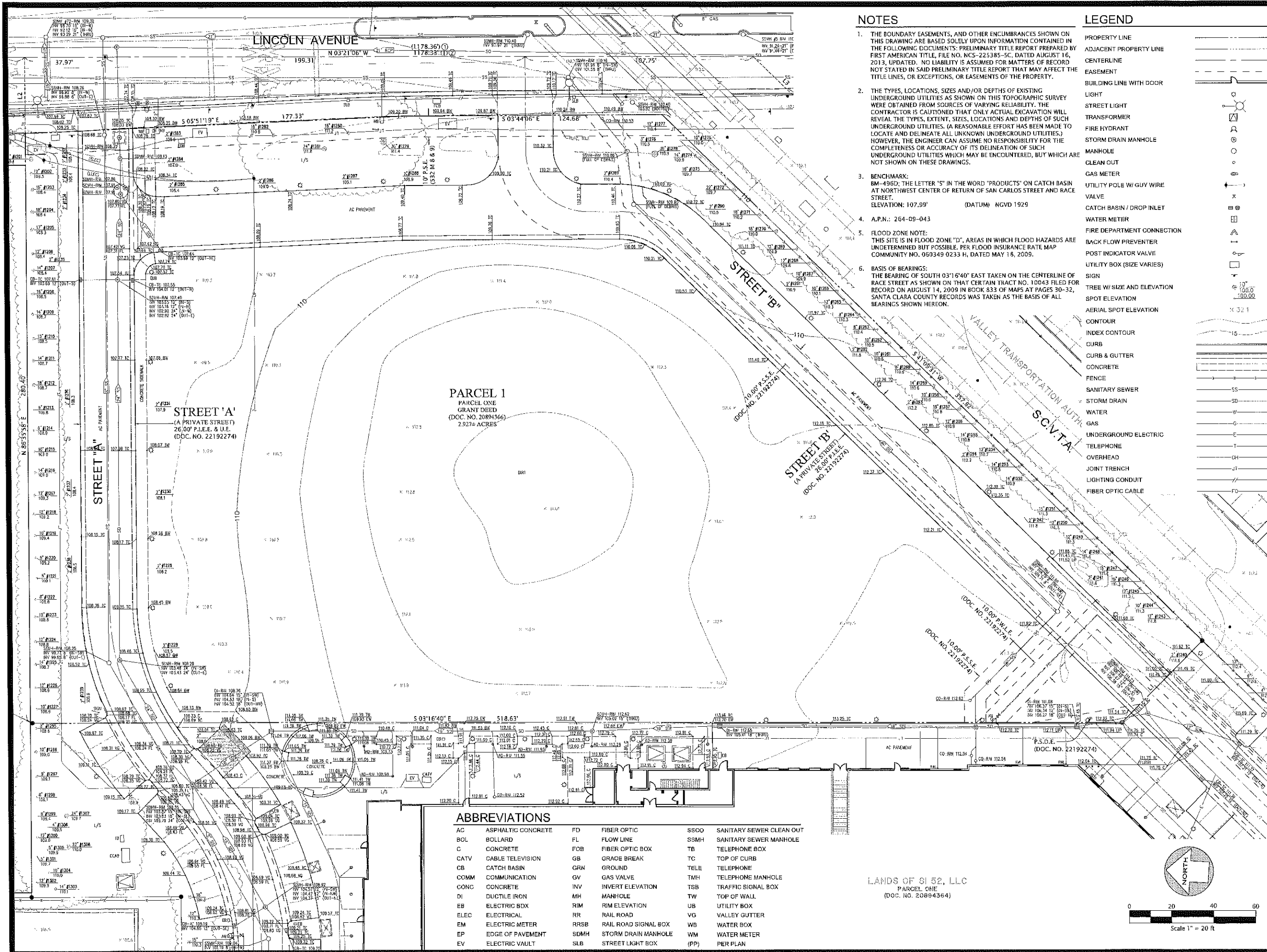
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Architecture. Planning. Interiors



505 LINCOLN

GENERAL DEVELOPMENT PLAN

The Sobrato Organization
San Jose, CA

The **SORRATO** Organization

REVISIONS

[illegible]

SHEET TITLE
EXISTING SITE
CONDITIONS

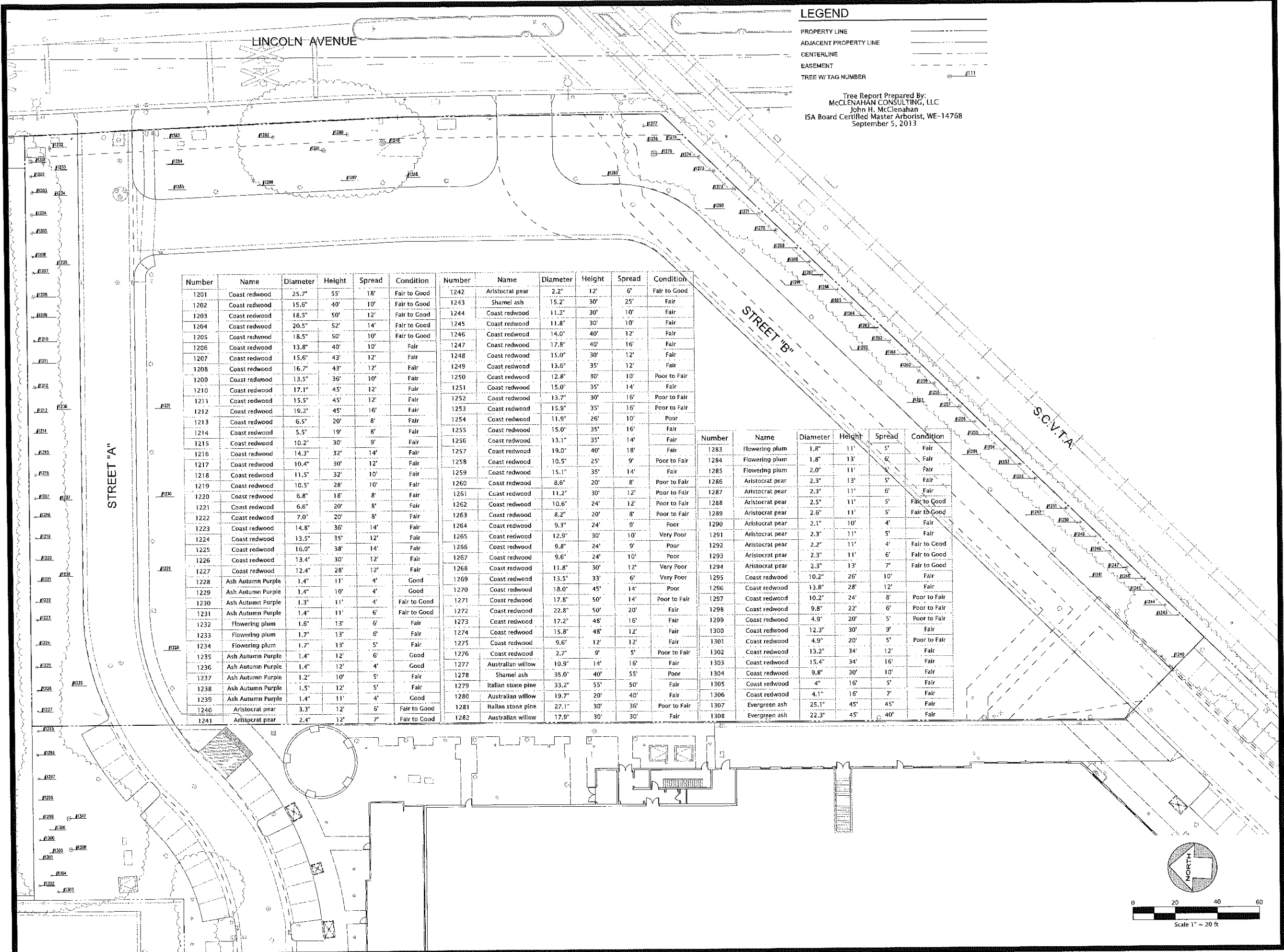
SHEET NUMBER
2-2

JOB NO.
A04270
DATE
09/02/20
SCALE
AS SHOWN



KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
3350 Scott Boulevard, Building 22
Santa Clara, California 95054
(408) 727 6665
Fax (408) 727 5641





LEGEND

PROPERTY LINE
ADJACENT PROPERTY LINE
CENTERLINE
EASEMENT
TREE W/ TAG NUMBER

Tree Report Prepared By:
McCLENAHAN CONSULTING, LLC
John H. McClenahan
ISA Board Certified Master Arborist, WE-14768
September 5, 2013

Number	Name	Diameter	Height	Spread	Condition	Number	Name	Diameter	Height	Spread	Condition
1201	Coast redwood	25.7"	55'	18'	Fair to Good	1242	Aristocrat pear	2.2"	12'	5'	Fair to Good
1202	Coast redwood	15.6"	40'	10'	Fair to Good	1243	Shamel ash	15.2"	30'	25'	Fair
1203	Coast redwood	18.5"	50'	12'	Fair to Good	1244	Coast redwood	11.2"	30'	10'	Fair
1204	Coast redwood	20.5"	52'	14'	Fair to Good	1245	Coast redwood	11.8"	30'	10'	Fair
1205	Coast redwood	18.5"	50'	10'	Fair to Good	1246	Coast redwood	14.0"	40'	12'	Fair
1206	Coast redwood	13.8"	40'	10'	Fair	1247	Coast redwood	17.8"	40'	16'	Fair
1207	Coast redwood	15.6"	43'	12'	Fair	1248	Coast redwood	15.0"	30'	12'	Fair
1208	Coast redwood	16.7"	43'	12'	Fair	1249	Coast redwood	13.6"	35'	12'	Fair
1209	Coast redwood	13.5"	36'	10'	Fair	1250	Coast redwood	12.8"	30'	10'	Poor to Fair
1210	Coast redwood	17.1"	45'	12'	Fair	1251	Coast redwood	15.0"	35'	14'	Fair
1211	Coast redwood	15.5"	45'	12'	Fair	1252	Coast redwood	13.7"	30'	16'	Poor to Fair
1212	Coast redwood	19.2"	45'	16'	Fair	1253	Coast redwood	15.9"	35'	16'	Poor to Fair
1213	Coast redwood	6.5"	20'	8'	Fair	1254	Coast redwood	11.9"	26'	10'	Poor
1214	Coast redwood	5.5"	19'	8'	Fair	1255	Coast redwood	15.0"	35'	16'	Fair
1215	Coast redwood	10.2"	30'	9'	Fair	1256	Coast redwood	13.1"	35'	14'	Fair
1216	Coast redwood	14.3"	32'	14'	Fair	1257	Coast redwood	19.0"	40'	18'	Fair
1217	Coast redwood	10.4"	30'	12'	Fair	1258	Coast redwood	10.5"	25'	9'	Poor to Fair
1218	Coast redwood	11.5"	32'	10'	Fair	1259	Coast redwood	15.1"	35'	14'	Fair
1219	Coast redwood	10.5"	28'	10'	Fair	1260	Coast redwood	8.6"	20'	8'	Poor to Fair
1220	Coast redwood	6.8"	18'	8'	Fair	1261	Coast redwood	11.2"	30'	12'	Poor to Fair
1221	Coast redwood	6.6"	20'	8'	Fair	1262	Coast redwood	10.6"	24'	12'	Poor to Fair
1222	Coast redwood	7.0"	20'	8'	Fair	1263	Coast redwood	8.2"	20'	8'	Poor to Fair
1223	Coast redwood	14.8"	36'	14'	Fair	1264	Coast redwood	9.3"	24'	9'	Poor
1224	Coast redwood	13.5"	35'	12'	Fair	1265	Coast redwood	12.9"	30'	10'	Very Poor
1225	Coast redwood	15.0"	38'	14'	Fair	1266	Coast redwood	9.8"	24'	9'	Poor
1226	Coast redwood	13.4"	30'	12'	Fair	1267	Coast redwood	9.6"	24'	10'	Poor
1227	Coast redwood	12.4"	28'	12'	Fair	1268	Coast redwood	11.8"	30'	12'	Very Poor
1228	Ash Autumn Purple	1.4"	11'	4'	Good	1269	Coast redwood	13.5"	33'	6'	Very Poor
1229	Ash Autumn Purple	1.4"	10'	4'	Good	1270	Coast redwood	18.0"	45'	14'	Poor
1230	Ash Autumn Purple	1.3"	11'	4'	Fair to Good	1271	Coast redwood	17.8"	50'	14'	Poor to Fair
1231	Ash Autumn Purple	1.4"	11'	6'	Fair to Good	1272	Coast redwood	22.8"	50'	20'	Fair
1232	Flowering plum	1.6"	13'	6'	Fair	1273	Coast redwood	17.2"	48'	16'	Fair
1233	Flowering plum	1.7"	13'	6'	Fair	1274	Coast redwood	15.8"	48'	12'	Fair
1234	Flowering plum	1.7"	13'	5'	Fair	1275	Coast redwood	9.6"	12'	12'	Fair
1235	Ash Autumn Purple	1.4"	12'	6'	Good	1276	Coast redwood	2.7"	9'	5'	Poor to Fair
1236	Ash Autumn Purple	1.4"	12'	4'	Good	1277	Australian willow	10.9"	14'	16'	Fair
1237	Ash Autumn Purple	1.2"	10'	5'	Fair	1278	Shamel ash	35.0"	40'	55'	Poor
1238	Ash Autumn Purple	1.5"	12'	5'	Fair	1279	Italian stone pine	33.2"	55'	50'	Fair
1239	Ash Autumn Purple	1.4"	11'	4'	Good	1280	Australian willow	19.7"	20'	40'	Fair
1240	Aristocrat pear	3.3"	12'	5'	Fair to Good	1281	Italian stone pine	27.1"	30'	36'	Poor to Fair
1241	Aristocrat pear	2.4"	12'	7'	Fair to Good	1282	Australian willow	17.9"	30'	30'	Fair
1283	Flowering plum	1.8"	11'	5'	Fair						
1284	Flowering plum	1.8"	13'	6'	Fair						
1285	Flowering plum	2.0"	11'	5'	Fair						
1286	Aristocrat pear	2.3"	13'	5'	Fair						
1287	Aristocrat pear	2.3"	11'	6'	Fair						
1288	Aristocrat pear	2.5"	11'	5'	Fair to Good						
1289	Aristocrat pear	2.6"	11'	5'	Fair to Good						
1290	Aristocrat pear	2.1"	10'	4'	Fair						
1291	Aristocrat pear	2.3"	11'	5'	Fair						
1292	Aristocrat pear	2.2"	11'	4'	Fair to Good						
1293	Aristocrat pear	2.3"	11'	6'	Fair to Good						
1294	Aristocrat pear	2.3"	13'	7'	Fair to Good						
1295	Coast redwood	10.2"	26'	10'	Fair						
1296	Coast redwood	13.8"	28'	12'	Fair						
1297	Coast redwood	10.2"	24'	8'	Poor to Fair						
1298	Coast redwood	9.8"	22'	6'	Poor to Fair						
1299	Coast redwood	4.9"	20'	5'	Poor to Fair						
1300	Coast redwood	12.3"	30'	9'	Fair						
1301	Coast redwood	4.9"	20'	5'	Poor to Fair						
1302	Coast redwood	13.2"	34'	12'	Fair						
1303	Coast redwood	15.4"	34'	16'	Fair						
1304	Coast redwood	9.8"	30'	10'	Fair						
1305	Coast redwood	4"	16'	5'	Fair						
1306	Coast redwood	4.1"	16'	7'	Fair						
1307	Evergreen ash	25.1"	45'	45'	Fair						
1308	Evergreen ash	22.3"	45'	40'	Fair						

505 LINCOLN

GENERAL DEVELOPMENT PLAN

The **SOBRATO** Organization

REVISIONS

DESCRIPTION	DATE

SHEET TITLE

EXISTING TREE SURVEY

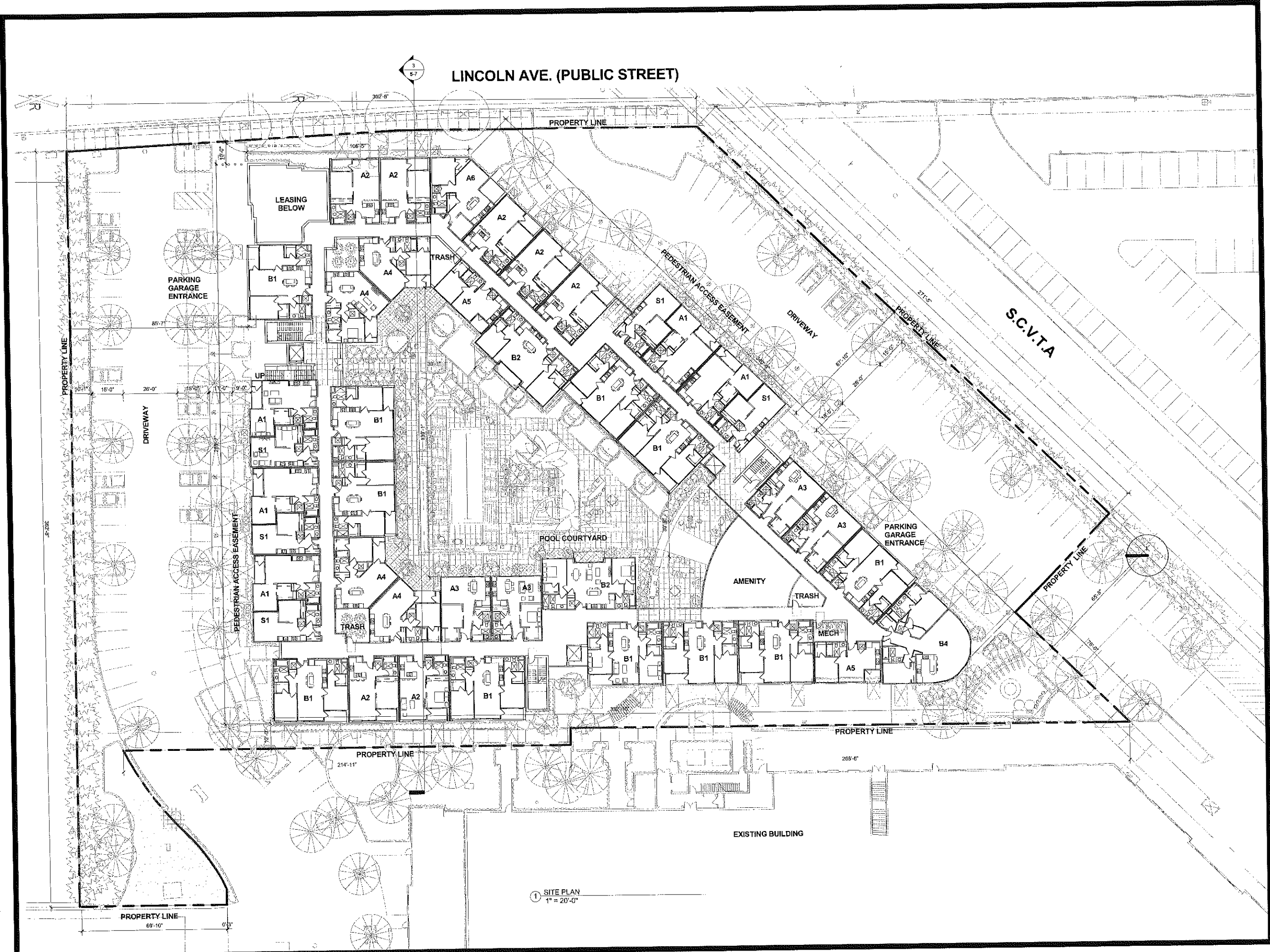
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2-3

JOB NO. A04270-6
DATE 09/02/2013
SCALE AS SHOWN

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505 LINCOLN

GENERAL DEVELOPMENT PLAN
The Sobrato Organization
San Jose, CA

The SOBRATO Organization

REVISIONS	
DESCRIPTION	DATE

SHEET TITLE
**CONCEPTUAL
SITE PLAN
(PODIUM)**

SHEET NUMBER
3-1

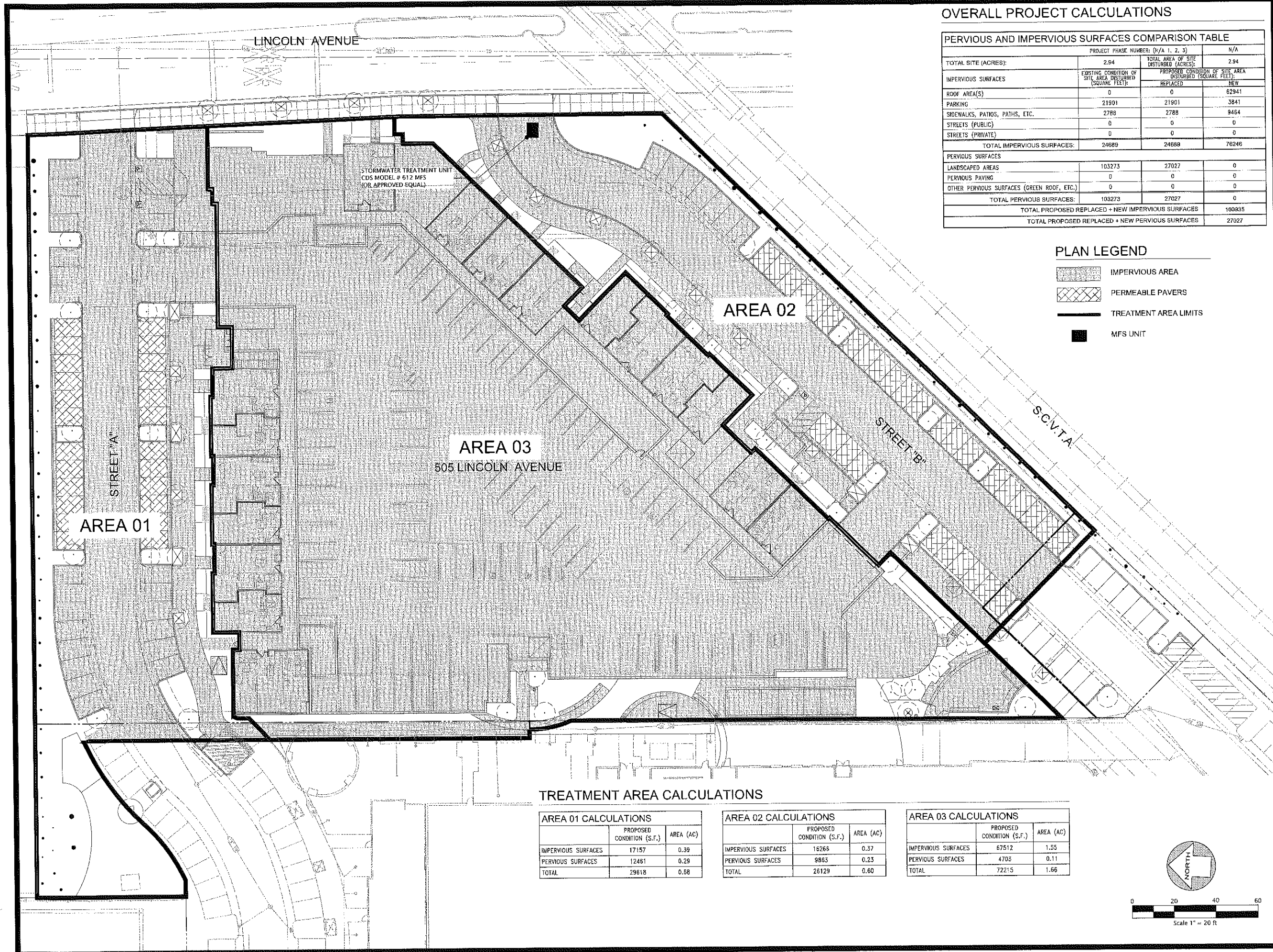
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Architecture Planning Interiors



505 LINCOLN

GENERAL DEVELOPMENT PLAN

The Sobrato Organization
San Jose, CA

The **SOBRATO** Organization

REVISIONS

	DESCRIPTION	DATE
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SHEET TITLE

CONCEPTUAL STORMWATER CONTROL PLAN

SHEET NUMBER

4-2

JOB NO.
A04270-6
DATE
9/02/2013
SCALE
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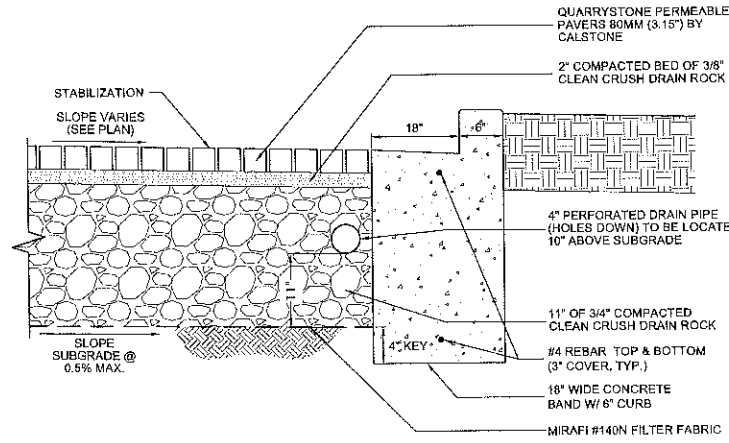
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<div> <div>SCURVRPP METHOD</div> <div>Combination Flow & Volume Sizing for Permeable Pavers</div> <div>605 Lincoln Avenue - Area 2</div> </div>			
<div>Size Permeable Paver Area based on Volume</div>			
<div> <div>Impervious area = 16,208 sf</div> <div>Pervious area = 9,883 sf</div> <div>Imperviousness = 62%</div> </div>	<div> <div>Area = 26,129 sf</div> <div>or</div> <div>0.660 Ac.</div> </div>		
<div>Map size = 10.9 inches</div>	<div>Map size = 10.9 inches</div>	<div>Correction Factor = 1.000</div>	
<div>Volume Calculation</div>			
<div> <div>Mean Annual Precipitation (in)_{avg}</div> <div>Mean Annual Precipitation (in)_{avg}</div> <div>Correction Factor</div> <div>Soil Type</div> <div>Average Slope of Site</div> <div>Unit Basin Storage</div> <div>Unit Basin Storage</div> <div>Unit Basin Storage</div> </div>	<div> <div>Map size = 13.8 inches</div> <div>Map size = 13.9 inches</div> <div>Map size = 1.00</div> <div>Type D Sandy Clay</div> <div>S = 1.0%</div> <div>UBS_{avg} = 0.80 inches</div> <div>UBS_{avg} = 0.55 inches</div> <div>UBS_{avg} = 0.5900 inches</div> </div>	<div> <div>*Per Fig. B-1</div> <div>San Jose Airport 13.9 in/hr</div> <div>Palo Alto 13.7 in/hr</div> <div>Morgan Hill 15.5 in/hr</div> <div>*Per Figure B-2</div> <div>*Per Figure B-3</div> <div>*Based on 80% capture</div> </div>	
<div> <div>BMP Volume = Correction Factor x Unit Basin Storage Volume x Drainage Area</div> <div>BMP Volume = 0.0250 acre-ft or 1,069 sf (based on 80% capture)</div> </div>			
<div>Reduce Size of Retention Area based on Flow</div>			
<div>Water quality design volume = 1,069 sf based on 80% capture</div>			
<div>Drain rock design volume assuming 35% void ratio = 3,111 sf</div>			
<div>Surface area of permeable pavers = 3,435 sf</div>			
<div>Rock section required below perforated pipe = 0.81 feet or 11 inches</div>			
<div>The above methodology derived from the "C-3 Stormwater Handbook" dated April 2012, as prepared by the Santa Clara Valley Urban Runoff Pollution Prevention Program (SCVURPPP)</div>			

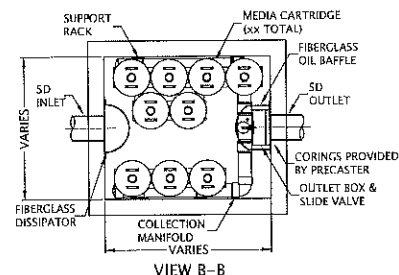


AREA 2 PERMEABLE PAVER SECTION

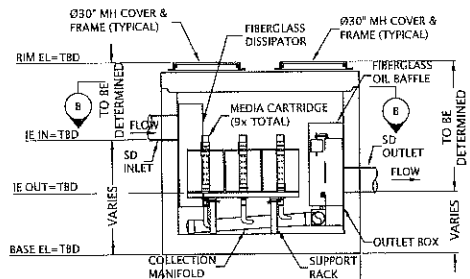
N.T.S

N.T.S.

1. THE SITE IS SLOPING FROM SOUTHWEST CORNER ON RACE STREET AND PARKMOORE AVENUE NORTHEAST TOWARDS THE CENTER OF PD SOUTH WITH APPROXIMATELY 4 FEET OF ELEVATION DIFFERENCE RANGING FROM ELEVATION 117 TO 113, RESPECTIVELY. DUE TO SITE COVERAGE CONSTRAINTS WITH THE PODIUM DENSITY AND STREET DEDICATION REQUIREMENTS, SUFFICIENT SPACE FOR ADEQUATE BIOSWALES IS UNAVAILABLE ON THE PROJECT SITE. HOWEVER, 100% OF THE TOTAL SITE WILL BE TREATED BY A COMBINATION OF PERMEABLE MATERIALS AND MECHANICAL TREATMENT VAULTS AS SHOWN ON THE PLAN AND SIZING CALCULATIONS.
2. THE SITE IS NOT IN A SPECIAL FLOOD HAZARD AREA. THE FLOOD ZONE DESIGNATION FOR THE SITE IS ZONE "D"; AREAS OF UNDETERMINED, BUT POSSIBLE, FLOOD HAZARDS.
3. THE SITE STORM DRAIN RUNOFF WILL BE FILTERED PRIOR TO DISCHARGE TO THE PUBLIC MAINS. THE PUBLIC MAINS EVENTUALLY DISCHARGE TO LOS GATOS CREEK, APPROXIMATELY 1,500 FEET EAST OF THE PROJECT SITE.
4. POTENTIAL POLLUTANTS INCLUDE MOTOR VEHICLE LUBRICANTS, COOLANTS, ROOF DEBRIS, LITTER AND DEBRIS. POLLUTANT SOURCE AREAS INCLUDE THE DRIVE AISLES, THE ROOFS OF THE BUILDING, AND THE SITE STORM DRAIN INLETS. ALL INLETS WILL BE MARKED "NO DUMPING - DRAINS TO BAY". THE DRIVE AISLE SHALL BE SWEEP REGULARLY TO PREVENT THE ACCUMULATION OF LITTER AND DEBRIS.
5. THE STORM DRAIN FILTRATION UNIT SHALL BE MAINTAINED ONCE A YEAR BEFORE THE RAINY SEASON BEGINS IN OCTOBER. THE MAINTENANCE OF THESE UNITS CONSISTS OF CLEANING AND REMOVAL OF ACCUMULATED DEBRIS AND REPLACEMENT OF FILTRATION CARTRIDGES ONCE A YEAR OR AS NEEDED PER INSPECTIONS.
6. THE COSTS OF ALL MAINTENANCE WILL BE BORNE BY THE PROPERTY OWNER OR ASSOCIATION.
7. SOIL TYPE(S): THE GEOTECHNICAL INVESTIGATION FOR THE SITE PREPARED BY TRC LOWMYER (REPORT NO. 659-22), DATED FEBRUARY 10, 2006, DESCRIBES SURFACE PAVEMENTS CONSISTING OF APPROXIMATELY 2 TO 5 INCHES OF ASPHALT CONCRETE OVER 2 TO 10 INCHES OF AGGREGATE BASE. SUBSURFACE SOILS ARE DESCRIBED AS CONSISTING OF 3.5 TO 8 FEET OF HARD SANDY LEAN CLAY CONTAINING GRAVEL, BRICK AND CONCRETE. SOIL BORINGS ENCOUNTERED PREDOMINANTLY STIFF TO HARD LEAN CLAYS IN THE UPPER 25 TO 30 FEET WITH LOCALIZED INTERBEDDED LAYERS OF STIFF SILTS AND MEDIUM DENSE TO DENSE SANDS WITH VARIABLE FINES CONTENTS.
8. FREE GROUND WATER OCCURS AT DEPTHS RANGING FROM 35 TO 39 FEET. HISTORICAL GROUNDWATER DEPTHS ARE KNOWN TO BE IN THE RANGE OF 32 TO 40 FEET. FLUCTUATIONS IN THE LEVEL OF THE GROUND WATER MAY OCCUR DUE TO VARIATIONS IN RAINFALL, UNDERGROUND DRAINAGE PATTERNS, AND OTHER FACTORS NOT IMMEDIATELY EVIDENT.



VIEW B-B



VIEW A-A

N.T.S.

IN ACCORDANCE WITH THE CALIFORNIA STORMWATER QUALITY ASSOCIATION'S (CASA) "STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK FOR NEW DEVELOPMENT AND REDEVELOPMENT," THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD FOR THE SAN FRANCISCO BAY REGION (C.3.30-PERMIT PROVISIONS), AND THE SAN FRANCISCO BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION (BSMAA), A MINIMUM WATER QUALITY RAINFALL INTENSITY OF 0.2 INCHES/HOUR MAY BE UTILIZED TO DETERMINE THE APPROPRIATELY SIZED FLOW-BASED STORMWATER BMP STRUCTURE.

CALCULATION/ESTIMATION OF RUNOFF FLOW FROM THE WQSE

RATIONAL METHOD: $(QWQ = C \cdot Iwq \cdot A)$

Qwq = TBD (DISCHARGE FLOW, CUBIC FEET PER
C = XC (RUNOFF COEFFICIENT, NON-DIMENSIONAL)
Iwq = 0.2 (RAINFALL INTENSITY, INCHES/HOUR)
A = XA (CATCHMENT AREA, ACRES)

WATER QUALITY STORM EVENT FLOW ESTIMATE

VARIABLE	VALUE	UNIT	DEFINITION
C_m	0.86		WEIGHTED AVERAGE RUNOFF COEFFICIENT
I_{qw}	0.2	IN/HR	MIN. RAINFALL INTENSITY OF WATER-QUALITY STORM EVENT
A_{uu}	72.215 1.66	SQFT ACRES	ESTIMATED DRAINAGE AREA SIZE (PER TREATMENT UNIT)
Q_{wq}	0.29 126	CFS GPM	MINIMUM FLOWRATE OF WATER-QUALITY STORM EVENT
SELECTION OF STRUCTURAL STORM WATER TREATMENT DEVICE			
MFS MODEL: 612 MFS (8 CARTRIDGES @ 18 GPM/CARTRIDGE) TREATMENT CAPACITY: 0.32 CFS (144 GPM) PER UNIT			

MAINTENANCE

THE CDS SYSTEM SHOULD BE INSPECTED AT REGULAR INTERVALS AND MAINTAINED WHEN NECESSARY TO ENSURE OPTIMUM PERFORMANCE. AT A MINIMUM THE CDS UNIT SHOULD BE PUMPED DOWN ONCE A YEAR AND A THOROUGH INSPECTION OF THE SEPARATION CHAMBER (INLET/CYLINDER AND SEPARATION SCREEN) AND OIL BAFFLE PERFORMED.

INSPECTION

AT A MINIMUM, INSPECTIONS SHOULD BE PERFORMED TWICE PER YEAR (I.E. SPRING AND FALL) HOWEVER MORE FREQUENT INSPECTIONS MAY BE NECESSARY IN CLIMATES WHERE WINTER SANDING OPERATIONS MAY LEAD TO RAPID ACCUMULATIONS, OR IN EQUIPMENT SHUTDOWN AREAS. ADDITIONALLY, INSTALLATIONS SHOULD BE INSPECTED MORE FREQUENTLY WHERE EXCESSIVE AMOUNTS OF TRASH ARE EXPECTED. THE VISUAL INSPECTION SHOULD ASCERTAIN THAT THE SYSTEM COMPONENTS ARE IN WORKING ORDER AND THAT THERE ARE NO BLOCKAGES OR OBSTRUCTIONS TO INLET AND/OR SEPARATION SCREENS. THE INSPECTION SHOULD ALSO IDENTIFY EVIDENCE OF VEGETATION ESTABLISHMENT AND ACCUMULATIONS OF HYDROCARBONS, TRASH, AND SEDIMENT IN THE SYSTEM. IF SORENT MATERIAL IS REQUIRED FOR ENHANCED REMOVAL OF HYDROCARBONS THEN THE LEVEL OF DISCOLORATION OF THE SORENT MATERIAL SHOULD ALSO BE IDENTIFIED DURING INSPECTION.

THE CDS SYSTEM SHOULD BE CLEANED WHEN THE LEVEL OF SEDIMENT HAS REACHED 75% OF CAPACITY IN THE ISOLATED SUMP AND/OR WHEN AN APPRECIABLE LEVEL OF HYDROCARBONS AND TRASH HAS ACCUMULATED. IF SORBENT MATERIAL IS USED, IT SHOULD BE REPLACED WHEN SIGNIFICANT DISCOLORATION HAS OCCURRED.

CLEANING

CLEANING OF THE CDS SYSTEMS SHOULD BE DONE DURING DRY WEATHER CONDITIONS WHEN NO FLOW IS ENTERING THE SYSTEM. CLEANOUT OF THE CDS WITH A VACUUM TRUCK IS GENERALLY THE MOST EFFECTIVE AND CONVENIENT METHOD OF EXCAVATING POLLUTANTS FROM THE SYSTEM. THE SYSTEM SHOULD BE COMPLETELY DRAINED DOWN AND THE SUMP FULLY EVACUATED OF SEDIMENT. THE AREA OUTSIDE THE SCREEN SHOULD BE PUMPED OUT ALSO IF POLLUTANT BUILD-UP EXISTS IN THIS AREA.

MOTOR OIL AND OTHER HYDROCARBONS THAT ACCUMULATE ON A MORE ROUTINE BASIS SHOULD BE REMOVED WHEN AN APPRECIABLE LAYER HAS BEEN CAPTURED TO REMOVE THESE POLLUTANTS. IT MAY BE PREFERABLE TO USE ADSORBENT PADS SINCE THEY ARE USUALLY LESS EXPENSIVE TO DISPOSE THAN THE OIL/WATER EMULSION THAT MAY BE CREATED BY VACUUMING THE OILY LAYER. TRASH CAN BE NETTED OUT IF YOU WISH TO SEPARATE IT FROM THE OTHER POLLUTANTS. THE SCREEN SHOULD BE POWER WASHED TO ENSURE IT IS FREE OF TRASH AND DEBRIS.

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SHEET TITLE

**STORMWATER
CONTROL PLAN
NOTES & DETAILS**

SHEET NUMBER 4-3	JOB NO. A04270-6
	DATE 09/02/2013 SCALE AS SHOWN



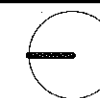
GENERAL DEVELOPMENT PLAN

The Sobrato Organization
San Jose, CA

REVISIONS

[illegible]

**CONCEPTUAL
GARAGE PLAN
(SUBTERRANEAN)**



5-1

JOB NO.
2012-1017
DATE
09/13/2012
SCALE
1" = 20'

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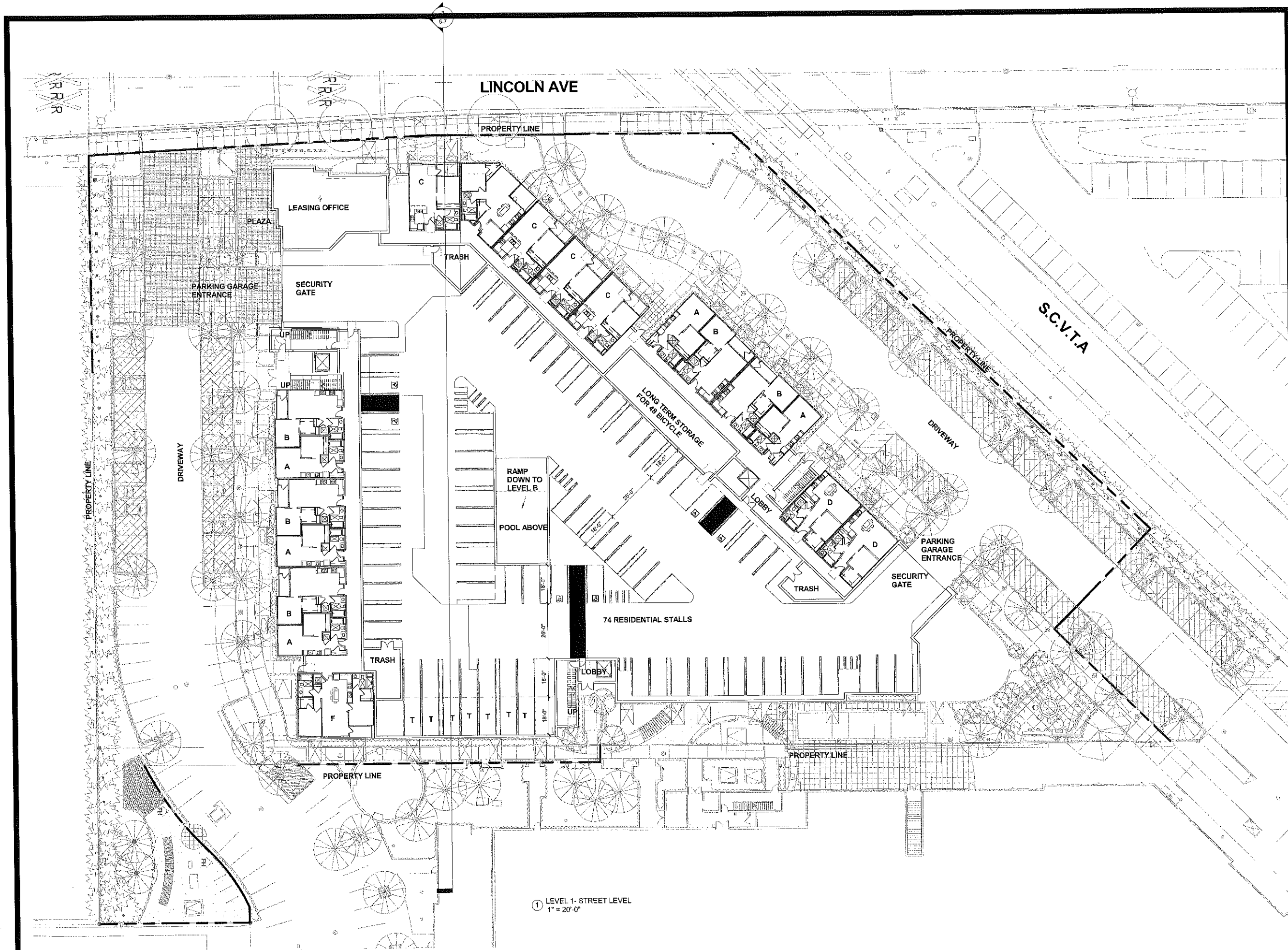


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Architecture Planning Interiors

① GARAGE B - SUBTERRANEAN
1" = 20'-0"



① LEVEL 1- STREET LEVEL
1" = 20'-0"

505 LINCOLN

GENERAL DEVELOPMENT PLAN
The Sobrato Organization
San Jose, CA

The **SOBRATO** Organization

REVISIONS

DESCRIPTION	DATE

SHEET TITLE

**CONCEPTUAL
BUILDING PLAN
(STREET LEVEL)**

SHEET NUMBER

5-2

JOB NO.
2012-10176
DATE
09/13/2013
SCALE
1" = 20'-0"

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GENERAL DEVELOPMENT PLAN

The Sobrato Organization
San Jose, CA

REVISIONS

[illegible]

SHEET TITLE

**CONCEPTUAL
BUILDING PLAN
(PODIUM LEVEL)**

SHEET NUMBER

5-3

JOB NO.
2012-10178

DATE
08/13/2013

SCALE
1" = 20' 0"

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GENERAL DEVELOPMENT PLAN
The Sobrato Organization
San Jose, CA

The SOBRATO Organization

REVISIONS

DESCRIPTION	DATE

SHEET TITLE

CONCEPTUAL
BUILDING PLAN
3RD LEVEL

SHEET NUMBER

5-4

DATE
08/13/2013
SCALE
1" = 20'-0"

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① LEVEL 3RD
1" = 20'-0"



① LEVEL 4TH AND 5TH
1" = 20'-0"

505 LINCOLN

GENERAL DEVELOPMENT PLAN
The Sobrato Organization
San Jose, CA

the **SOBRATO** Organization

REVISIONS

DESCRIPTION	DATE

SHEET TITLE

**CONCEPTUAL
BUILDING PLAN
4TH / 5TH LEVEL**

SHEET NUMBER

5-5

JOB NO.
2012-10176
DATE
09/13/2013
SCALE
1" = 20'-0"

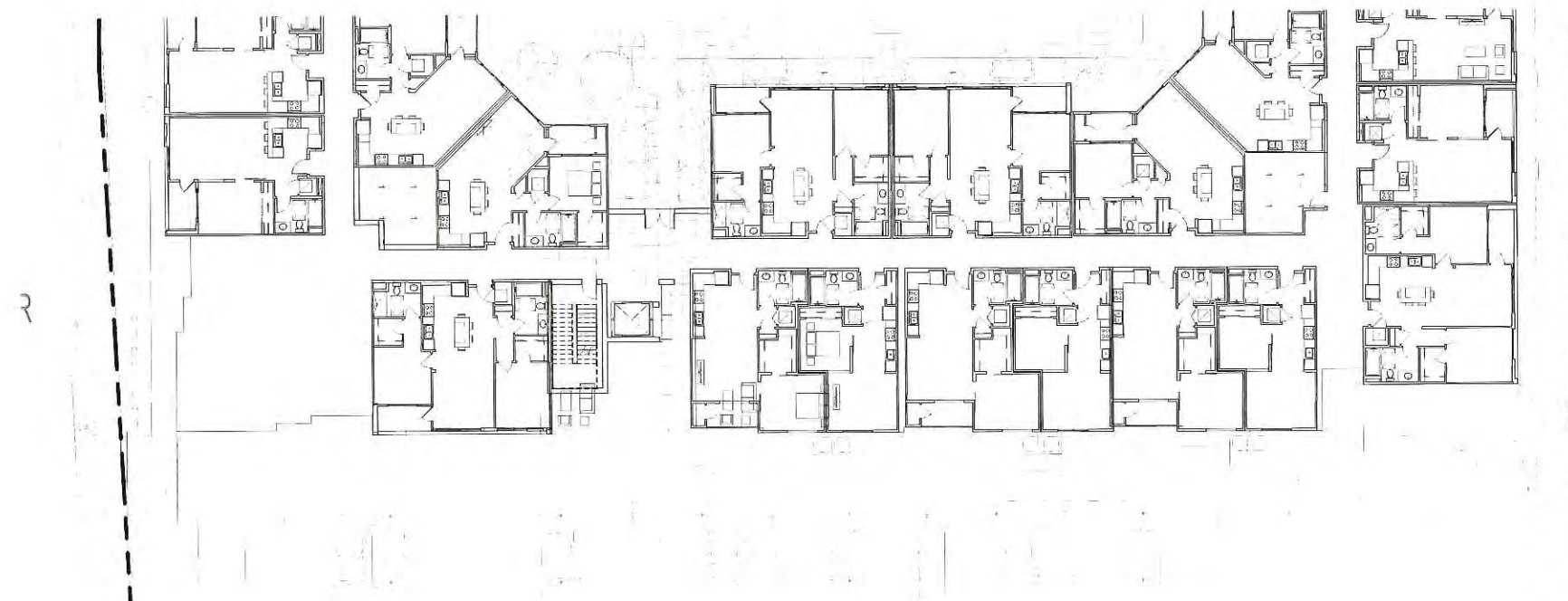
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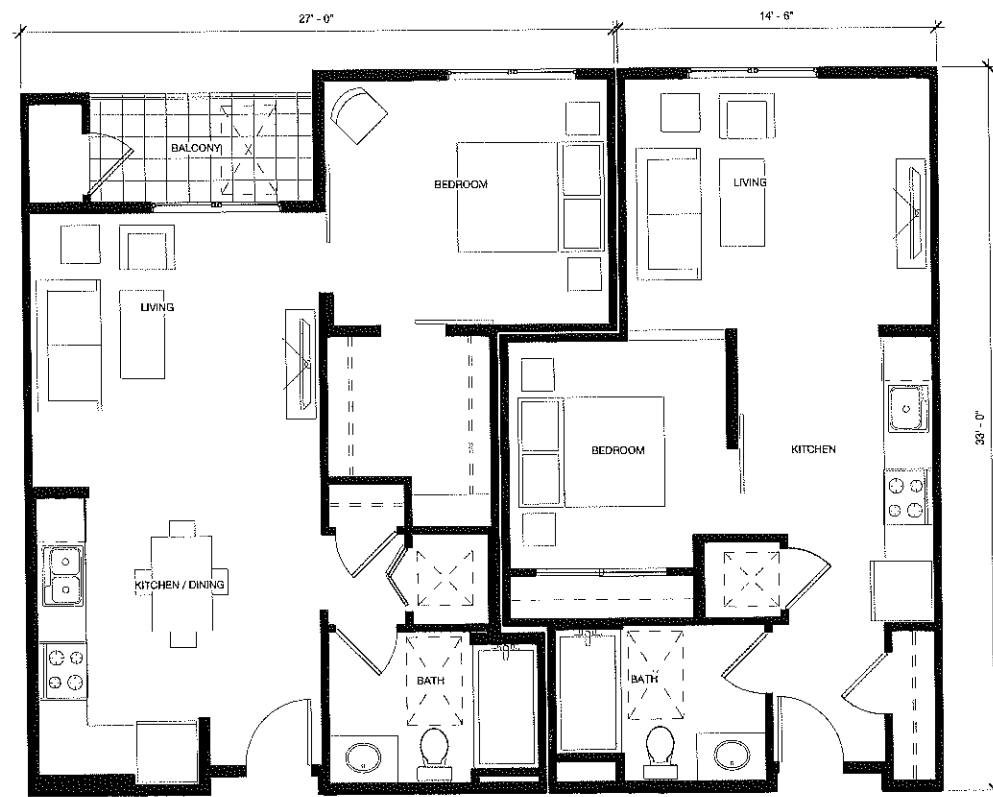


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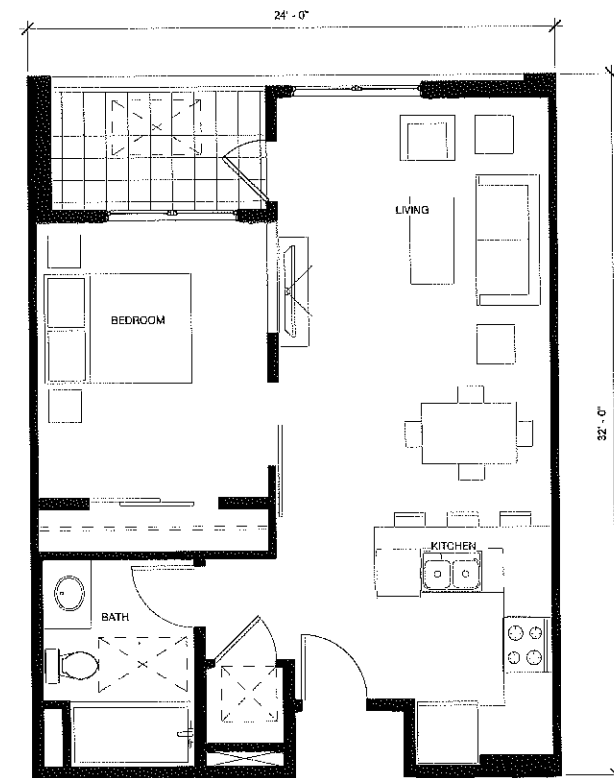




UNIT A1- One Bedroom (25 Units)
gross area: 705 sq. ft.
net area: 650 sq. ft.

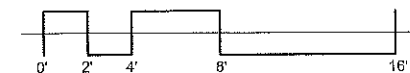
UNIT S1- Studio (25 Units)
gross area: 570 sq. ft.
net area: 530 sq. ft.

① Unit S1 + A1
1/4" = 1'-0"



One Bedroom (32Units)
gross area: 680 sq. ft.
net area: 630 sq. ft.

② Unit A2
1/4" = 1'-0"



505 LINCOLN

GENERAL DEVELOPMENT PLAN
The Sobrato Organization
San Jose, CA

The **SOBRATO** Organization

REVISIONS

DESCRIPTION	DATE

SHEET TITLE

**ENLARGED UNIT
PLANS STUDIO AND
1 BEDROOM**

SHEET NUMBER

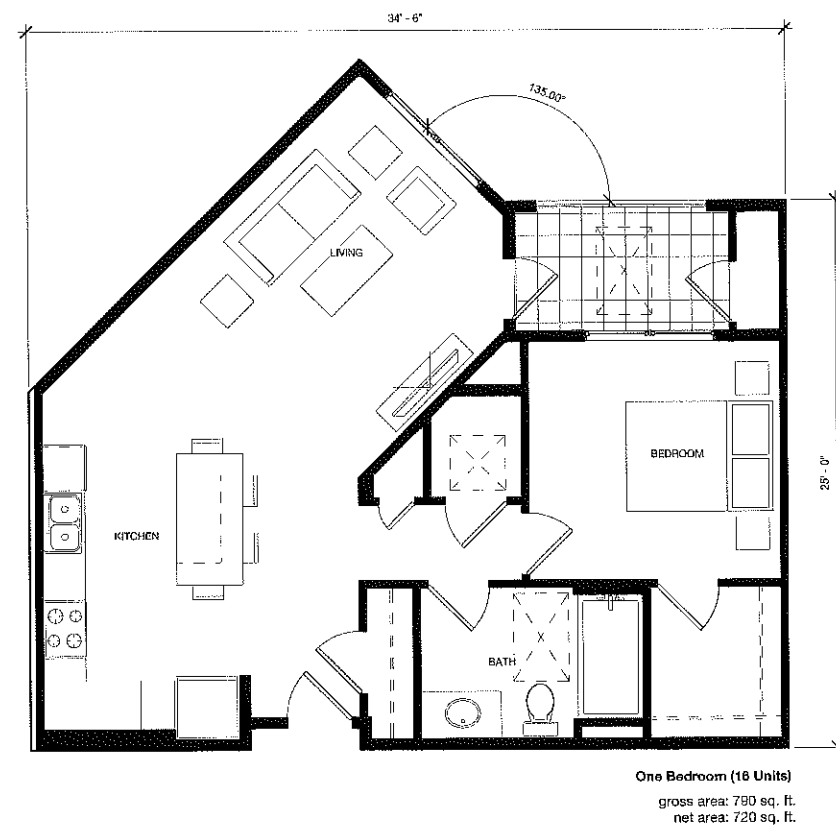
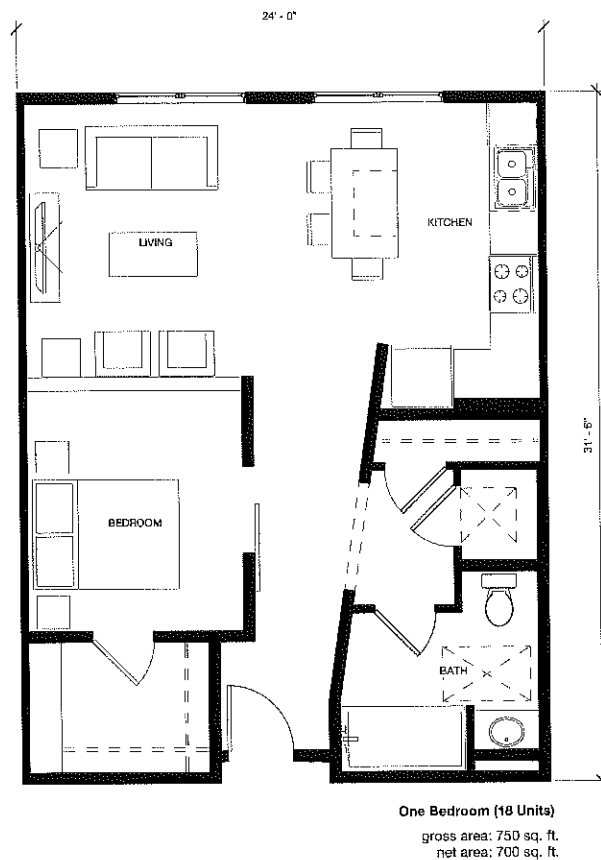
5 - 7

JOB NO.
2012-10176
DATE
08/13/2013
SCALE
1/4" = 1'-0"

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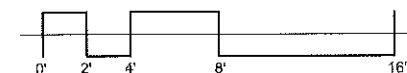


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② Unit A3
1/4" = 1'-0"

① Unit A4
 $1/4^n = 1^{1-0^n}$



505 LINCOLN

GENERAL DEVELOPMENT PLAN

The Sobrato Organization
San Jose, CA

The **SOBRATO** Organization

REVISIONS

	DESCRIPTION	DATES
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SHEET TITLE

**ENLARGED UNIT
PLANS
1 BEDROOM**

SHEET NUMBER

5 - 8

JOB NO.
2012-10178
DATE
09/13/2013
SCALE
1/4" = 1'-0"

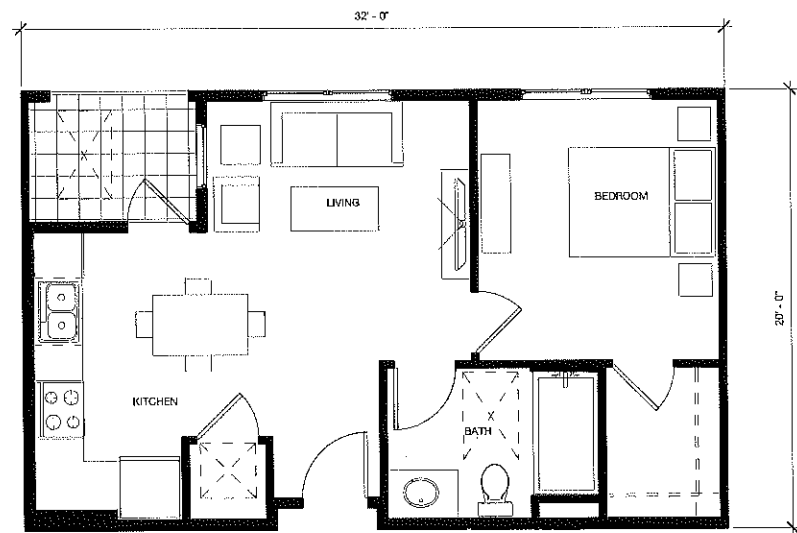
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One Bedroom (8 Units)
gross area: 590 sq. ft.
net area: 540 sq. ft.

① Unit A5
1/4" = 1'-0"



Two Bedroom (5 Units)
gross area: 860 sq. ft.
net area: 780 sq. ft.

② Unit A6
1/4" = 1'-0"



505 LINCOLN

GENERAL DEVELOPMENT PLAN
The Sobrato Organization
San Jose, CA

The **SOBRATO** Organization

REVISIONS

DESCRIPTION	DATE

SHEET TITLE
**ENLARGED UNIT
PLANS
1 BEDROOM**

SHEET NUMBER
5 - 9

JOB NO.
2012-10176
DATE
06/13/2013
SCALE
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Architecture Planning Interiors

GENERAL DEVELOPMENT PLAN

The Sobrato Organization
San Jose, CA

REVISIONS

	DESCRIPTION	DATE
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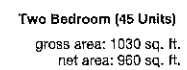
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5 - 10

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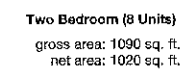


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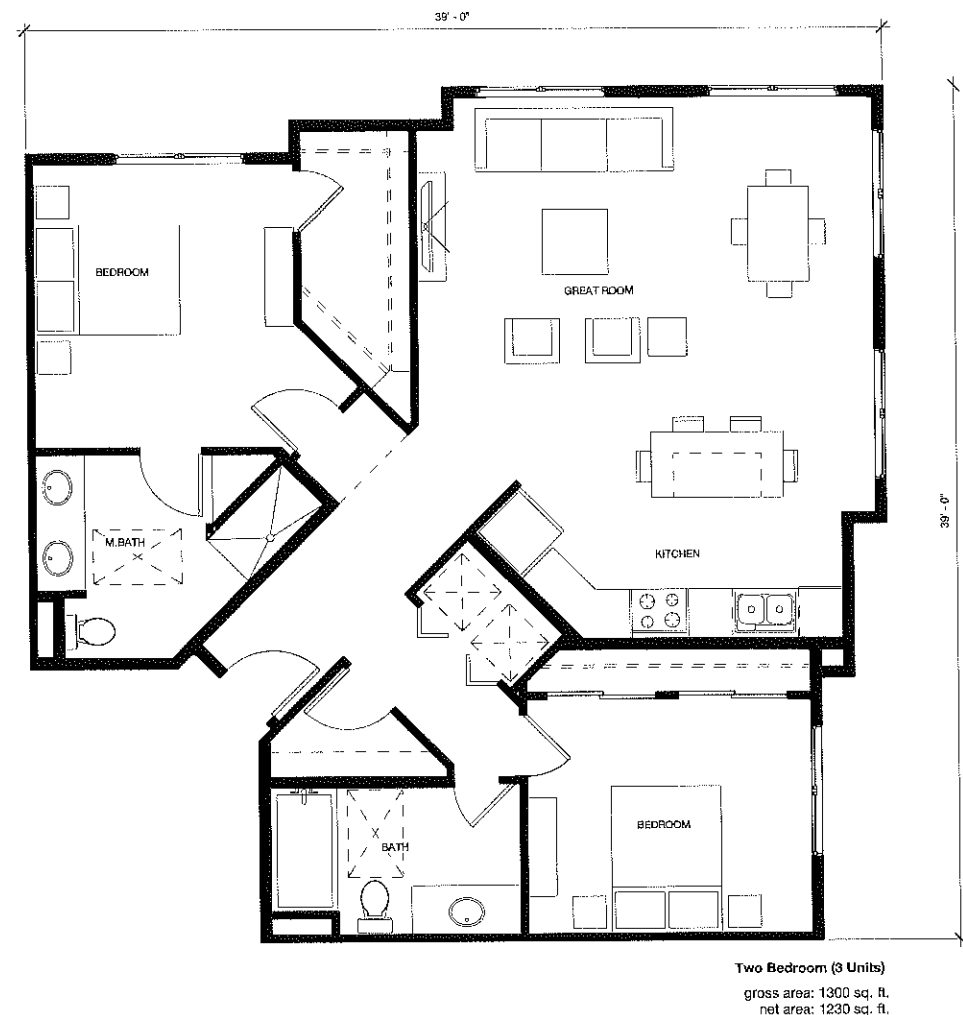


① Unit B1
 $1/4'' = 1'-0''$



② Unit B2
1/4" = 1'-0"

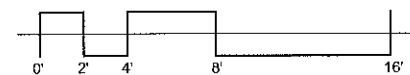




① Unit B3
1/4" = 1'-0"



② Unit B4
1/4" = 1'-0"



505 LINCOLN

GENERAL DEVELOPMENT PLAN
The Sobrato Organization
San Jose, CA

The **SOBRATO** Organization

REVISIONS

DESCRIPTION	DATE

SHEET TITLE
ENLARGED UNIT PLANS
2 BEDROOMS

SHEET NUMBER
5 - 11

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NOTE DESCRIPTION

- 1 Swimming Pool 15 x 45 in vault set flush with FFE of podium level units
- 2 Unit Pavers On-Structure Type 1. Linear
- 3 Unit Pavers On-Structure Type 2. Square 24x24
- 4 Unit Pavers On-Structure Type 3. Square 12x12
- 5 Pool Fence. Alternating Panels of Glass and Punched Metal
- 6 Pool Gate Metal Mesh Panel. Self closing hinges. Self-latching hardware. Key Fob operated
- 7 Life Lift Station
- 8 CMU Planter Wall
- 9 Recline Bench. Built-in, wood finish over poured in concrete base

- 10 BBQ Station. Built-in BBQ with prep sink. Granite Counter top and back splash wall
- 11 Gravel Paving (12" wide) at unit face
- 12 Concrete Steps and Handrails
- 13 Guardrail. Glass Panels 42" high
- 14 Arbor. Metal Construction
- 15 Pool Gate Arbor. Metal Construction
- 16 Pool/Spa Shower. Frosted Glass Enclosure.
- 17 Planter Wall with glass tile veneer on curved face and reveals
- 18 Metal Header
- 19 Synthetic One-Lawn Turf on gravel setting bed
- 20 Concrete Ramp and Handrails

- 21 Pre-cast planter, 42"Ø.
- 22 Fire Place Wall and Hearth. Stone Veneer over cmu. Linear jet burner
- 23 Spa. 88 sf
- 24 Permeable Pavers
- 25 Seat Wall. Poured in place concrete integral color with tile band
- 26 Pet Amenity Area
- 27 Fence Metal Construction 36" tall
- 28 HVAC Condenser
- 29 Security Gate and Fence. Metal Construction 6'-0" tall
- 30 Pedestrian Scale Pole Lights. Selux Saturn Cut-off SAC-R5-1-H15-T6-BK-120-DS-S35
- 31 Pedestrian Concrete Paving. Natural Grey, Light Broom Finish

- 32 Unit Pavers On-Grade Vehicular Type 1. Linear
- 33 Unit Pavers On-Grade Vehicular Type 2. Square 24x24
- 34 Unit Pavers On-Grade Pedestrian Type 1. Linear
- 35 Unit Pavers On-Grade Pedestrian Type 2. Square 24x24
- 36 HC Curb Ramp
- 37 Flag Pole with up light
- 38 Sign Wall. Sign by others
- 39 City of San Jose Standard Sidewalk
- 40 Pathway Light
- 41 Decorative Stamped Asphalt
- 42 Picnic Area
- 43 Bocce Ball Court

505 LINCOLN

GENERAL DEVELOPMENT PLAN
The Sobrato Organization
San Jose, CA

SOBRATO

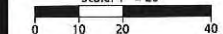
REVISIONS

	DESCRIPTION	DATE
Δ	RD Zoning Submittal	09.13.18
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SHEET TITLE

Illustrative
Landscape Plan

Scale: 1" = 20'



SHEET NUMBER

L6.1

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PLANT PALETTE

KEY	SIZE	BOTANICAL NAME	COMMON NAME	CULTIVAR	COMMENTS
ACE PAL		Acer palmatum	Japanese maple		Standard
CHA HUM		Chamaecyparis humilis	Mediterranean Fan Palm		
CUP SEM		Cupressus sempervirens 'Gloja'	Billion Cypress		
DIC ANT		Dicksonia antarctica	Tasmanian Tree Fern		Standard
ELA DEC		Elaeagnus decedens	Japanese Blackberry Tree		Standard
ERI DEF		Eriobotrya deflexa	Brownie Loquat		
FRA AME		Fraxinus amercana	'Autumn Purple' Ash	'Autumn Purple'	
LAG CVS		Lagerstroemia cultivar	Crape Myrtle		
MAG CVS		Magnolia grandiflora	'Russell' Magnolia		
MAY BOA		Maytenus boaria	Green Showers Maytens	'Green Showers'	
PHY VM		Phyllostachys vivax	Vivax Bamboo		
PHY NIG		Phyllostachys nigra	Black Bamboo		
PLA ACE		Platanus acerifolia	'Columbia' London Plane Tree	'Columbia'	
POD MAC		Podocarpus macrophyllus	Fern Tree		Standard
PRU KRA		Prunus cerasifera	Purple Leaf Plum	'Krauter Vesuvius'	
QUE AGR		Quercus agrifolia	Coast Live Oak		
SEQ SEM		Saguel semperivens	'Saguel' Coastal Redwood	'Saguel'	10' bth
TRA FOR		Trachycarpus fortunei	Chinese Fan Palm		
WAS FIL		Washingtonia filifera	California Fan Palm		16' bth
WAS ROB		Washingtonia robusta	Mexican Fan Palm		16' bth

* 24" Box unless noted otherwise in comments or on plans.

KEY	SIZE	BOTANICAL NAME	COMMON NAME	CULTIVAR	COMMENTS
AGA STO	5 gal	Agapanthus 'Storm Cloud'	Stormcloud Lily of the Nile		
ARB COM	5 gal	Arbutus unedo 'Compacta'	Compact Strawberry Tree		
ARC HGW	5 gal	Archaeophytos 'Howard' Medium	Medium Monarda		
ASP DEN	5 gal	Asparagus densiflorus 'Meyer's'	Meyer's Asparagus Fern		
ASP ELA	5 gal	Aspidistra Elatior	Cast Iron Plant		
BUX MIC	5 gal	Buxus m. 'Green Beauty'	Japanese Boxwood		
BUX TOP	15 gal	Buxus m. 'Green Beauty'	Japanese Boxwood Topiary	Globe Topiary	
BUX MGT	5 gal	Buxus m. 'Green Tower'	Green Tower Jap. Boxwood		
CAM YUL	5 gal	Camellia sasanqua 'Yuletide'	Yuletide Camellia		
DIE BIC	5 gal	Dietes bicolor	Fortnight Lily		
DIE VEG	5 gal	Dietes vegeta	Fortnight Lily		
HYP MOS	5 gal	Hypericum moserianum	'Goldcoin' Shrub		
MUS ACU	15gal	Musa acuminata 'Dwarf Cavendish'	Dwarf Cavendish Banana		
NAN DOM	1 gal	Nandina d. 'Gulf Stream'	Gulf Stream Heavenly Bamboo		
NFP COR	5 gal	Nephrolepis cordifolia	Southern Sword Fern		
PIE JAP	5 gal	Pieris japonica	Lily of the Valley Shrub	'Mountain Fire'	
PIT TOB	5 gal	Pittosporum tobira 'Wheeler's Dwarf'	'Wheeler's Dwarf' Black Orange		
PHO DAZ	5gal	Phormium 'Dazzler'	Phormium Dazzler		
PHO JAD	15gal	Phormium 'Sea Jade'	Phormium Sea Jade		
POL FRU	5 gal	Polygala fruticosa 'Pallid Butterflies'	Butterfly Sweet Shrub		
RHA CAS	5 gal	Rhamnus californica 'Eve Case'	Eve Case Coffeeberry		
RHA CLA	5 gal	Rhampholepis 'Clara'	Clara India Hawthorn		
RIB SAN	5gal	Ribes sanguineum	Pink Winter Currant		
ROS CVS	5gal	Rosa cultivars	Rosa	as noted on plans	
WOO FIB	5gal	Woodwardia fimbriata	Giant Chain Fern		

KEY	SIZE	BOTANICAL NAME	COMMON NAME	CULTIVAR	COMMENTS
AGA PFA	1 gal	Agapanthus 'Peter Pan'	Peter Pan Lily of the Nile		
CHO TEC	5 gal	Chondropetalum tectorum	Cape Rush		
CU MIN	5 gal	Cufia minima	Kaffir Lily		
GAU LIN	1 gal	Gaura L. 'Siskiyou Pink'	Gaura		
HEM HYD	1 gal	Hemerocallis 'Evergreen Red'	Red Evergreen Daylily		
JUN EFF	1 gal	Juncus effusus	Soft Rush		
LAN RAD	1 gal	Lantana 'Radiation'	Radiation Lantana		
LIR MUS	1 gal	Liriope muscari 'Royal Purple'	Royal Purple Lily Turf		
LIR SIG	1 gal	Liriope sigonata	Giant Lily Turf		
LIR MAJ	1 gal	Liriope 'Majestic'	Majestic Lily Turf		
MAH REP	1 gal	Mahonia repens	Creeping Oregon Grape		
MIS TRA	5 gal	Miscanthus transmontanusensis	Evergreen Miscanthus		
NAN HAR	1 gal	Nandina 'Harbor Dwarf'	Harbor Dwarf Heavenly Bamboo		
NFP COR	5 gal	Nephrolepis cordifolia	Southern Sword Fern		
OST TSY	1 gal	Osteospermum 'Lemon Symphony'	Lemon Symphony Osteospermum		
OST TOP	1 gal	Osteospermum 'Tradewinds Dark'	Tradewinds Dark Purple Freeway Daisy		
PLE FOR	5 gal	Phelipsthus fortunei variegatus	Dwarf White Stripes Bamboo		
POL MUN	1 gal	Polystichum munatum	Western Sword Fern		
ZAN AFI	1 gal	Zantedeschia aethiopica	Calla Lily		

KEY	SIZE	BOTANICAL NAME	COMMON NAME	CULTIVAR	COMMENTS
DAM TAG	15gal	Dampiera x tagliabuana	Trumpet Creeper	'Madame Galen'	
CLA ARM	5 gal	Clematis armandii	Evergreen Clematis		
CLY CAL	5 gal	Clytostoma callistegioides	Lavender Trumpet Vine		
FIC PUM	5 gal	Ficus pumila	Creeping Fig		
LON HIL	15 gal	Lonicera hildbrandiana	Giant Burmese Honeysuckle		
PAR TRI	1 gal	Parthenocissus tricuspidata	Boston Ivy		

KEY	SIZE	BOTANICAL NAME	COMMON NAME	CULTIVAR	COMMENTS
APT COR	1 gal	Aptenia cordifolia	Aptenia		
ARC UVA	1 gal	Arctostaphylos uva-ursi 'Radiant'	Radiant Manzanita		
CAV FOR	1 gal	Campanula portenschlagiana	Bellflower		
FRA CHI	1 gal	Fraxgia chilensis	Beach Strawberry		
HED HEL	1 gal	Hedera helix	English Ivy	'Hahn's Self-Branching'	
MYO CRE	1 gal	Myoporum p. 'Putah Creek'	Myoporum 'Putah Creek'		
DEN BER	1 gal	Oenothera bertandieri 'Siskiyou'	Siskiyou Evening Primrose		
PLE PYG	1 gal	Phelipsthus pygmaeus	Pygmy bamboo		
POT TAB	1 gal	Potamogeton tabernaemontani	Creeping Cinqfoil		
SAG SUB	1 gal	Sagina subulata	Irish Moss		
SAR HUM	1 gal	Sarcococca hookeriana var. humilis	Creeping Sweet Box		
SEN MAN	1 gal	Senecio mandraliscae	Senecio		
SOL SOL	1 gal	Soleirolia solstitialis	Baby's Tears		
TRA JAS	1 gal	Trachelospermum jasminoides	Star Jasmine		
VIN MIN	1 gal	Vinca minor	Pinkwinkle		

PLANT SPACING DIAGRAM

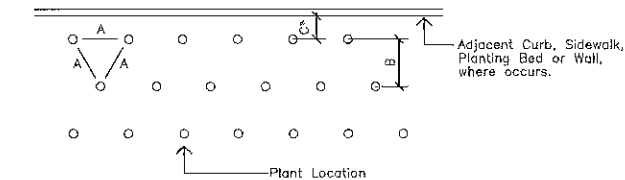
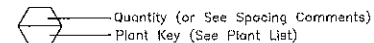


Diagram for use when plants are spaced equidistant from each other as in all ground cover plantings and massed shrub plantings

PLANT CALLOUT SYMBOL



PLANT QUANTITY DIAGRAM

SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
6" O.C.	5.20"	2.60"	4.60
8" O.C.	6.93"	3.47"	2.60
9" O.C.	7.79"	3.90"	1.78
10" O.C.	8.66"	4.33"	1.66
12" O.C.	10.40"	5.20"	1.15
15" O.C.	13.00"	6.50"	0.74
18" O.C.	15.60"	7.80"	0.51
24" O.C.	20.80"	10.40"	0.29
30" O.C.	26.00"	13.00"	0.18
36" O.C.	30.00"	15.00"	0.12
48" O.C.	40.00"	20.00"	0.07
72" O.C.	62.35"	31.18"	0.04

See Plant Spacing Diagram for maximum triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where C=1/2 B.

PLANTING NOTES

THE FOLLOWING SIX (6) NOTES ARE FOR BIDDING PURPOSES ONLY

- The contractor is required to submit plant quantities and unit prices for all plant materials as a part of the bid.
- Assume 15 gallon plant for any unlabelled or un-sized tree; 5 gallon plant for any unlabelled or un-sized shrub; and 4" pots @ 12" o.c. (not flats) for any unlabelled ground cover. All planting beds, except for lawns, are to receive ground cover plant installation in addition to the shrubs and trees shown on the plans.
- The planting areas shall be ripped to a depth of 8" to reduce compaction. The native subgrade soil shall be treated with 100 lbs of gypsum/1000 sf and leached to improve drainage and reduce the soil interface barrier. Contractor shall coordinate this work with other trades. This is subject to the final recommendations of the soils test (see below) and review by the Landscape Architect and the Owner.
- All planting areas are to receive Super Humus Compost by BFI (408.945.2844; www.bfi.com) at the rate of 6 cubic yards/1000 square feet, evenly tilled 6" deep into the soil to finish grade. All planting areas shall have 6-20-20 Commercial Fertilizer at 25lbs/1000 square feet evenly distributed into the soil. This is subject to the final recommendations and review of the soils test (see below) by the Landscape Architect and the Owner.
- Planting pits are to be backfilled with a mixture of 50% native soil and 50% amended native soil.
- The General Contractor is to provide an agricultural suitability analysis for on-site rough graded soil and any imported topsoil. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary. See specifications for testing procedure.
- All work shall be performed by persons familiar with planting work and under supervisions of a qualified planting foreman.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be staked as shown in the staking diagrams.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- All planting areas, except lawns and storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Prochip" by BFI (408.888.7632; www.bfi.com) or equal. This shall include all pre-cast planter pots. Mulch shall be brown in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
- All street trees to be installed in accordance with the standards and specifications of the City of Mountain View, California.
- Seasonal color is to be current and locally available. Plant material is to be selected by the Landscape Architect from a list of currently available stock provided by the Landscape Contractor prior to installation. Seasonal color to be 4" pots at 12" o.c. unless otherwise noted.
- The lawn shall be Pacific Sod "Medallion", installed per Pacific Sod's specifications. Trees planted in lawn areas shall not have lawn planted over the top of the rootball but shall have 12" diameter circle of lawn cut out for trimming purposes.
- Trees shall be planted to anticipate settlement.
- Plant material requiring iron supplements shall have chelated iron foliar feeding applications per manufacturer's specifications. See specifications for materials.
- All trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications for materials.
- Ground cover shall be planted as shown on the plan, including under shrubs and in tree watering basins.
- The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.

505 LINCOLN

GENERAL DEVELOPMENT PLAN

The Sobrato Organization
San Jose, CA

The SOBRATO Organization

REVISIONS

	DESCRIPTION	DATE
1	2D Zoning Submittal	09/13/11
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SHEET TITLE

Plant Palette

SHEET NUMBER

L-6.2

JOB NO.
XXX-XXX
DATE
09/05/11
SCALE

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